



### Planning Committee

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**Time and Date**

2.00 pm on Thursday, 13th July, 2017

**Place**

Committee Room 3 - Council House

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1. **Apologies for Absence**

2. **Declarations of Interest**

3. **Exclusion of Press and Public**

To consider whether to exclude press and public for items of private business for the reasons shown in the report.

4. **Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Head of Planning, be declared before the application is considered.

5. **Minutes of Previous Meeting held on 15 June 2017** (Pages 3 - 8)

6. **Late Representations** (Pages 9 - 10)

To be circulated at the meeting.

7. **Outstanding Issues**

There are no outstanding issues.

8. **Application FUL/2017/0756 - Little Cedars Meadfoot Road** (Pages 11 - 34)

Report of the Head of Planning and Regulation

9. **Application FUL/2017/0519 - Edgwick Park Industrial Estate Canal Road**  
(Pages 35 - 64)

Report of the Head of Planning and Regulation

10. **Application HH/2017/0707 - 88 and 90 Owenford Road** (Pages 65 - 80)

Report of the Head of Planning and Regulation

11. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

#### **Private Business**

12. **Enforcement Report** (Pages 81 - 112)

Report of the Director of Finance and Corporate Services and the Head of Planning and Regulation

13. **Any other items of private business which the Chair decides to take as matters of urgency because of the special circumstances involved**

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Martin Yardley, Deputy Chief Executive (Place), Council House Coventry

Wednesday, 5 July 2017

Note: The person to contact about the agenda and documents for this meeting is Usha Patel email: [carolyn.sinclair@coventry.gov.uk](mailto:carolyn.sinclair@coventry.gov.uk)

Membership: Councillors N Akhtar, P Akhtar, R Auluck, R Bailey, S Bains, G Crookes, J McNicholas, C Miks, K Mulhall (Deputy Chair), P Seaman (Chair) and D Skinner

By invitation Councillor L Bigham

Please note: a hearing loop is available in the committee rooms

If you require a British Sign Language interpreter for this meeting  
OR if you would like this information in another format or  
language please contact us.

**Usha Patel**

**Email: [usha.patel@coventry.gov.uk](mailto:usha.patel@coventry.gov.uk)**

**Coventry City Council**  
**Minutes of the Meeting of Planning Committee held at 2.00 pm on Thursday, 15**  
**June 2017**

Present:

Members: Councillor P Seaman (Chair)  
Councillor N Akhtar  
Councillor P Akhtar  
Councillor R Auluck  
Councillor R Bailey  
Councillor S Bains  
Councillor G Crookes  
Councillor J McNicholas  
Councillor D Skinner

Employees (by  
Directorate):

Place: O. Aremu, L Albrighton, L D'Onofrio, C Horton, C Sinclair, C  
Whitehouse

Apologies: Councillor C Miks and K Mulhall

## Public Business

### 1. Declarations of Interest

- (1) Councillor Crookes declared a disclosable pecuniary interest in the matter referred to in Minute 6 (Application OUT/2017/0260 – Car Park 16, University of Warwick, Gibbet Hill Road/Kirby Corner Road. He withdrew from the meeting during consideration of this item.
- (2) Councillor Skinner declared a disclosable pecuniary interest in the matter referred to in Minute 6 (Application OUT/2017/0260 – Car Park 16, University of Warwick, Gibbet Hill Road/Kirby Corner Road. He also declared an “Other Interest” in the matter referred to in Minute 12 (Application HH/2017/0607 – 19 Coleby Close). He withdrew from the meeting during consideration of both items.

### 2. Members Declarations of Contact on Planning Applications

The Members named declared contacts on the following applications as indicated:

<b>Application No.</b>	<b>Councillor</b>	<b>From</b>
OUT/2017/0260 – Car Park 16, University of Warwick	Councillor Skinner	Local residents
HH/2017/0991 – 1 Aldrin Way	Councillor Crookes	Local residents
FUL/2017/0560 – 12 Brill Close	Councillor Crookes	Local residents

HH/2017/0607 – 19 Coleby Close	Councillor Crookes	Local residents
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3. **Minutes of the meeting held 11 May 2017**

The minutes of the meeting held on 11 May 2017 were signed as a true record.

4. **Late Representations**

The Committee noted a tabled report which summarised late representations and responses on the following:

Application No.	Site	Minute No.
FUL/2017/0933	31 Warwick Row	9
HH/2017/0607	19 Coleby Close	12

5. **Outstanding Issues**

There were no outstanding issues.

6. **Application OUT/2017/0260 - Car Park 16, University of Warwick, Gibbet Hill Road/Kirby Corner Road**

The Committee considered a report of the Head of Planning and Regulation detailing the above outline application for the erection of a multi-storey car park with associated accesses (discharging access, all other matters reserved). The application was recommended for approval.

The Committee noted that one further written representation had been received which referred to concerns in respect of movement of traffic.

Councillor Sawdon, a Wainbody Ward Councillor, attended the meeting together with a registered public speaker and both spoke in respect of their objections to the application. The applicant's agent attended the meeting and spoke in support of the application.

**RESOLVED that outline planning permission be granted in respect of Application OUT/2017/0260 subject to conditions.**

7. **Application HH/2017/0991 - 1 Aldrin Way**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for a single storey rear extension which was recommended for approval.

Councillor Sawdon, a Wainbody Ward Councillor, attended the meeting and spoke in respect of his objections to the application. The applicant's agent attended the meeting and spoke in support of the application.

Following discussion, the Committee agreed that an additional condition be imposed that no windows or openings (apart from any shown on the approved



drawings) shall be formed in the extension hereby approved without the written approval of the local planning authority.

**RESOLVED that planning permission be granted in respect of Application HH/2017/0991 subject to conditions including the additional condition detailed above.**

8. **Application HH/2017/1022 - 1 Aldrin Way**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for a single storey rear extension and garage conversion with pitch roof over, which was recommended for approval.

Councillor Sawdon, a Wainbody Ward Councillor, attended the meeting together with a registered public speaker and both spoke in respect of their objections to the application. The applicant's agent attended the meeting and spoke in support of the application.

**RESOLVED that planning permission be granted in respect of Application HH/2017/1022 subject to conditions.**

9. **Application FUL/2017/0933 - 31 Warwick Row**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for the erection of a three storey rear extension, reinstatement of front dwarf wall, metal fence with gate to front and side and change of use from a day nursery (Use Class D1) to 11 self-contained residential units. The application was recommended for approval.

The Late Representation document set out an amendment to Condition 2 in respect of updated drawing numbers

**RESOLVED that the grant of planning permission in respect of Application FUL/2017/0933 be delegated to the Head of Planning and Regulation following the expiry of the consultation period, subject to conditions and subject to receiving no further comments raising new material planning objections to the application.**

10. **Application HH/2017/0706 - 24 Portwrinkle Avenue**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for the erection of a two storey front and rear extension, raised roof ridge height and installation of dormer windows on the rear elevation, which was recommended for approval.

**RESOLVED that planning permission be granted in respect of Application HH/2017/0706 subject to conditions.**

11. **Application FUL/2017/0560 - 12 Brill Close**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for extensions and alterations to dwelling house

and formation of two self-contained studio flats which was recommended for approval.

The Committee noted that the plans had been amended to include a back door, roofed over for a loft area.

Councillor Sawdon, Wainbody Ward Councillor, attended the meeting together with a registered public speaker and spoke in respect of their objections to the application. The applicant's agent attended the meeting and spoke in support of the application.

Arising from the discussion, the Committee raised concerns regarding the proposed off-street parking arrangements and agreed an additional condition for the submission of a scheme for off-street parking and re-positioning of the dropped kerb, to be approved by the local planning authority, prior to occupation of the development.

**RESOLVED that planning permission be granted in respect of Application FUL/2017/0560 subject to conditions including the pre-commencement condition in respect of parking indicated above.**

(Note: Councillor N Akhtar did not take place in the discussions and voting on this application as he was not present at the meeting for the presentation)

12. **Application HH/2017/0607 - 19 Coleby Close**

The Committee considered a report of the Head of Planning and Regulation detailing the above application for Retention of tree house which was recommended for approval.

In addition a further condition (3) would be required stating : The existing hedge and trees indicated on drawing number 2/3/17 Revision B to be retained shall not be cut down, grubbed out or otherwise removed or topped or lopped so that the height is reduced. Any hedge(s) removed without consent or dying, or being severely damaged or diseased or becomes, in the opinion of the local planning authority, seriously damaged or defective, within five years from the date of this permission shall be replaced within the next planting season with hedging, tree(s) and/or shrub(s) of such size and species details of which must be submitted to and approved by the local planning authority. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations (excluding hard surfaces).

In the interest of residential amenity in accordance with Policy H4 and BE2 of the Coventry Development Plan 2001.

**RESOLVED that planning permission be granted in respect of Application HH/2017/0607 subject to conditions.**

13. **Report to consider the addition of the Albany public house to the Local List of Heritage Assets**

The Committee considered a report of the Director of Streetscene and Regulatory Services which asked the Committee to consider whether or not to add the Albany public house to the City of Coventry Local List of Heritage Assets.

A Locally Listed heritage asset was a building, structure or feature, which was not listed by the Government, but that the Council believed was an important part of the city's heritage. The conservation and contribution of locally listed heritage assets were a material consideration in planning decisions that directly affect them or their setting.

Coventry City Council had received a nomination to assess the Albany public house at 24 Albany Road, Coventry CV5 6JU for local listing. The nomination form and Local Listing Report were appended to the report.

The report recommended local listing for the following reasons:

- Artistic interest: as a good surviving example of an early 20<sup>th</sup> century public house, with good detailing;
- Historic interest: for its association with the development of the Victorian and Edwardian suburb of Coventry;
- Community interest: for its importance to the identity and cohesion for the community for the last 110 years.

Following consideration of the report, the committee agreed to regularly review locally listed buildings at risk, in collaboration with officers. Members of the Planning Committee and officers would make suggestions for historic buildings that are at risk, and action will be taken, by first liaising with building owners, then enforcement action if necessary.

**RESOLVED that the Committee approve the addition of the Albany Public House to the City of Coventry Local List of Heritage Assets.**

**14. Appeal Progress Report**

The Committee noted a report of the Head of Planning informing Members of appeals lodged and determined for the period 30 January to 31 December 2016.

The report set out the main issues of the appeals and summarised the decisions. Where claims for costs are made or awarded, either for or against the Council, the decisions have been included within the report.

**15. Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

There were no other items of business.

(Meeting closed at 5.45 pm)



## Late Representations Planning Committee 13 July 2017

Item No. 8	<p><b>Application No. - FUL/2017/0756</b></p> <p>Description of Development - Demolition of existing building and erection of residential building with 11 units (mix of 1 bed and 2 bed units) with external space provided for each unit</p> <p><b>Site Address</b> - Little Cedars Meadfoot Road</p> <p><b>Clarification on proposal</b> There have been non-material concerns raised by local residents following speculation that the proposed building would be used as a hostel (sui generis) or a rehabilitation centre (C2 Use Class). For clarification such uses would fall within a different use class to the proposed residential apartment building (C3 Use Class) and would require planning permission.</p> <p><b>Additional correspondence</b> The applicant is unable to attend Planning Committee but has provided the following information in support of the scheme:</p> <ul style="list-style-type: none"> <li>- The site is derelict at present.</li> <li>- There is a demand for housing locally and nationally.</li> <li>- S106 Contributions will be made to local NHS.</li> <li>- The application is recommended for approval by Planning Officer</li> <li>- The Highways Officer has made no objections to the access and parking arrangements.</li> </ul> <p><b>Additional Condition</b> The Council's Drainage Engineer has raised no objection to the scheme, subject to the following condition:</p> <p>Prior to commencement of development hereby approved, the following information shall be submitted to and approved in writing by the local planning authority: i) A scheme for the provision of surface water drainage, incorporating SuDS attenuation techniques; ii) A detailed strategy for the long-term maintenance of the SuDS and other surface water drainage systems on site; iii) In accordance with point i above, the development discharge rate must be managed to a limiting value of 5.0 l/s offsite; iv) Provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase; v) Evidence that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority and that this will not exacerbate the flood risk on or off site (this will include capacity calculations and outcomes, not just the correspondence from Severn Trent Water Ltd in isolation, accepting the point discharges. Evidence of existing sub catchments within the site are needed to support the connectivity survey and confirm the acceptability of proposed point discharges to the watercourses and infrastructure sewers); vi) Evidence of the 1 in 100 year plus climate change events will be held within the site boundaries; vii) An intrusive ground investigation report to establish the depth and type of strata, including percolation results in accordance with BRE 365 and the presence and risk associated with migrant contaminants and the provision of evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design; viii) All 'within building plot' drainage must be considered for the incorporation of water re-use systems, such as grey water harvesting, to manage down both peak and total rainfall runoff discharging to sewer systems, watercourses and groundwater; ix) The development must be considered for</p>
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	<p>the implementation of permeable paving for the management of total surface water flows, and water filtering; x) Details of a scheme to install trapped gullies serving the vehicular car access and parking facilities, together with a periodic maintenance plan, to be fully installed and maintained in accordance with the approved details prior to commencement of the development; xi) Evidence to show the management of overland flow routes in the event of exceedance or blockage to the drainage system, include a demonstration of how the building will be protected in such an event; xii) Provision for the drainage of the site to ensure there is no discharge of surface water to the Public Highway; xiii) Foul drainage plans. All details shall be carried out as approved. REASON: To ensure that a satisfactory means of drainage is provided such as to minimise flooding and which promotes and maintains the good stewardship of the natural and built environment in accordance with the Water Framework Directive and Policies EM4 and OS4 of the Coventry Development Plan 2001 and the Supplementary Planning Document 'Delivering a More Sustainable City'.</p>
<p>Item No. 10</p>	<p><b>Application No. - HH/2017/0707</b></p> <p>Description of Development - Erection of two storey rear extensions and loft conversions to both 88 and 90 and two storey side extension to 90</p> <p><b>Site Address</b> - 88 and 90 Owenford Road</p> <p><b>Recommendation</b></p> <p>To clarify, the recommended reason for refusal relates to the impact of the proposal upon the character of the host building and character of the area, and not the impact upon residential amenity. The various elements of concern are explained in detail in the design section of the report and encompass:</p> <ul style="list-style-type: none"> <li>- The proximity of the side extension to Capmartin Road</li> <li>- The design of the side extension (including the use of a gable roof instead of a hipped roof)</li> <li>- The design and scale of the upper floor extensions and roofs</li> </ul> <p><b>Appraisal</b></p> <p>The report explained that if a bat survey was not submitted prior to the meeting that an additional reason for refusal would be recommended, relating to potential harm to protected species. A survey has not been submitted, therefore the following additional reason for refusal is recommended.</p> <p><b>Additional reason for refusal</b></p> <p>The proposal would be contrary to Policy GE15 of the Coventry Development Plan 2001, as insufficient information has been submitted to ensure that protected species would not be harmed as a result of the development.</p>

<b>Planning Committee Report</b>	
<b>Planning Ref:</b>	FUL/2017/0756
<b>Site:</b>	Little Cedars, Meadfoot Road, Coventry
<b>Ward:</b>	Binley and Willenhall
<b>Applicant:</b>	Mr and Mrs Morley
<b>Proposal:</b>	Demolition of existing building and erection of residential building with 11 units (mix of 1 bed and 2 bed units) with external space provided for each unit
<b>Case Officer:</b>	Liam D'Onofrio

**SUMMARY**

The application proposes to demolish the existing two-storey detached building and erect a contemporary apartment building with a mix of eleven 1-bedroom and 2-bedroom units. The report considers, amongst other things, the principle of development and matters of design, neighbouring amenity and highway safety.

**KEY FACTS**

<b>Reason for report to committee:</b>	Councillor Mutton has requested that this application be determined by Planning Committee due to concerns regarding over-development and highway safety. Representations have also been received from more than 5 properties.
<b>Current use of site:</b>	Vacant – formerly Little Cedars Dental Surgery.
<b>Proposed use:</b>	A residential building with a mix of eleven 1 bed and 2 bed units.
<b>Car parking provision:</b>	Eleven parking spaces – one per unit.

**RECOMMENDATION**

Planning committee are recommended to grant planning permission subject to conditions and subject to the completion of a legal agreement relating to NHS contributions. Failure to complete the agreement by 26/07/17 may result in the application being refused.

**REASON FOR DECISION**

- The proposal is high quality design providing a distinctive landmark building within the area.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal accords with Policies BE2 of the Coventry Development Plan 2001, together with the aims of the NPPF.

## BACKGROUND

### **APPLICATION PROPOSAL**

Planning permission is sought for the demolition of the existing two-storey detached former Dentist's Surgery and the erection of an apartment building that rises from single storey to four storey on St James Lane and two storey to four storey on Meadfoot Road. The building will have a distinctive triangular shape with the full four storey height at the junction of St James Lane/Remembrance Road/Meadfoot Road.

The proposed building will have five 2-bedroom flats, one 1-bedroom flat, four 2-bedroom maisonettes (with accommodation split over two-floors) and a one 1-bedroom maisonette (Unit 10), the upper level of which occupies the only section of fourth floor within the building's apex. Units 1 to 6 will all benefit from small outside garden area and Units 7 to 11 will have an outside terrace area.

Eleven off-street car parking spaces will be provided, accessed from Meadfoot Road and there is a communal bin store and a large internal cycle store with room for eleven cycles (one per unit required in the SPD).

### **SITE DESCRIPTION**

The application site relates to a roughly triangular plot located on a prominent corner site northeast of the St James Lane/Remembrance Road junction. The site is located on the southeastern side of Meadfoot Road and the northwestern side of St James Lane. The surrounding area is predominantly residential in nature, characterised by two-storey, gable end dwellinghouses. Open space and Willenhall Community Primary School are located on the opposite side of St James Lane.

### **PLANNING HISTORY**

There have been a number of historic planning applications on this site; the following are the most recent/relevant:

<b>Application Number</b>	<b>Description of Development</b>	<b>Decision and Date</b>
S/1981/0815	Change of use from dwelling house to dental surgery and first floor flat and formation of vehicular access	Granted 1981
S/1989/0445	Entrance porch	Granted April 1989
FUL/2016/2482	Residential building with 11 units and external space	Withdrawn 10/01/17 to allow for a bat survey, noise survey and re-design of terraces to avoid overlooking.

### **POLICY**

#### **National Policy Guidance**

National Planning Policy Framework (NPPF). The NPPF published in March 2012 sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the



extent that is relevant, proportionate and necessary to do so. The NPPF promotes sustainable development and good design is recognised as a key aspect of this.

The National Planning Practice Guidance (NPPG) 2014, this adds further context to the NPPF and it is intended that the two documents are read together.

### ***Local Policy Guidance***

The current local policy is provided within the Coventry Development Plan 2001 (CDP) relevant policy relating to this application is:

Policy OS3 – Local area regeneration  
Policy OS4 – Creating a more sustainable city  
Policy OS9 - Access by disabled people  
Policy OS10 – Planning Obligations  
Policy EM2 - Air Quality  
Policy EM4 - Flood risk and development  
Policy EM5 - Pollution protection strategy  
Policy EM6 - Contaminated land  
Policy EM8 - Light pollution  
Policy H1 - People and their housing needs  
Policy H2 - Balancing new and existing housing  
Policy H9 - Windfall additions to housing land supply  
Policy H12 - Design and density of housing development  
Policy AM1 - An integrated, accessible and sustainable transport strategy  
Policy AM9 – Pedestrians in new developments  
Policy AM12 - Cycling in new developments  
Policy AM22 - Road safety in new developments  
Policy BE2 - The principles of urban design  
Policy BE19 - Lighting  
Policy BE20 - Landscape design and development  
Policy BE21 - Safety and security  
Policy GE14 - Protection of landscape features  
Policy GE15 - Designing new development to accommodate wildlife

### ***Emerging Policy Guidance***

The Draft Local Plan 2016 to 2031 has been submitted to the Inspectorate, examination hearings and consultation on modifications has concluded and the Inspectors report is currently awaited. Whilst the policies do not hold significant weight at this time, they will gain weight as the local plan continues through the process. Policies within the draft local plan that are relevant include:

Policy H3 – New Housing  
Policy H4 – Housing Mix  
Policy DE1 – Ensuring High Quality Design  
Policy AC1 – Accessible Transport Network  
Policy AC3 – Demand Management  
Policy AC4 – Cycling and walking  
Policy EM1 – Planning for Climate Change Adaptation  
Policy EM4 – Flood Risk Management  
Policy EM5 – Sustainable Drainage Systems  
Policy EM6 – Air Quality

**Supplementary Planning Guidance/ Documents (SPG/ SPD):**  
SPG Design Guidelines for New Residential Development  
SPD Delivering a More Sustainable City

**CONSULTATION**

No objections, subject to conditions have been received from:

County Ecology  
Environmental Protection Officers (CCC)  
Highways (CCC)  
Public Health (CCC)  
University Hospital Coventry and Warwickshire  
West Midlands Police

No Objections have been received from:

Environment Agency  
Parks and Leisure (CCC)  
Urban Design (CCC)

Immediate neighbours and local councillors have been notified; a site notice was posted on 28/04/17. A press notice was displayed in the Coventry Telegraph on 11/05/2017.

17 letters of objection have been received, raising the following material planning considerations:

- a) The building is too high/out of place/ an eyesore.
- b) Loss of privacy to adjoining neighbours and adjacent school.
- c) Highway safety concerns
- d) Poor junction to Meadfoot Rd/Remembrance Rd/ St James Lane.
- e) Insufficient parking/existing parking congestion.
- f) Impact upon pedestrian safety.

Within the letters received the following non material planning considerations were raised, these cannot be given due consideration in the planning process:

- g) Concerns raised that building will be used as a hostel, mental health rehabilitation and/or an acute drugs and alcohol unit. Associated concerns with types of clientele using such facilities.

Councillor Mutton has objected to the scheme, writing on behalf of all three Binley and Willenhall Ward Councillors. Whilst there is no objection in principal it is considered that for such a small area this is over-development on a massive scale. Willenhall already has one of the heaviest densities of housing in the city and cannot cope with any more over development. Meadfoot Road is a very narrow street with massive parking problems that sometimes inhibit the emergency services from gaining access. The proposals contained in this planning application will compound the problems further.

A multi-signature letter has been submitted with 42 signatures stating that "The issue is the intended space which will be required for parking for the 11 flats. How this will impact on residents in Meadfoot Road, especially at top end of our street. Parking already an issue with bin/service lorries etc."

Any further comments received will be reported within late representations.

### **APPRAISAL**

The main issues in determining this application are principle of development, design, impact upon neighbouring amenity, air quality, highway considerations, Ecology/landscaping matters and contributions.

#### ***Principle of development***

No policy issues are raised with the loss of the Dentist Surgery use (D1 Use Class) or the demolition of the existing building.

The NPPF 2012, paragraph 49 indicates that housing applications should be considered in the context of the presumption in favour of sustainable development.

Local Plan Policy H1 states that all existing and proposed citizens should have access to a range of housing that is of satisfactory size and condition and within a high quality residential environment. Policy H2 highlights that priority for new housing should be given to the re-use of previously developed land and buildings. Policy H9 dealing with windfall housing sites indicates that proposals for housing development on sites not identified will be permitted subject to: compatibility with nearby uses; the provision of an attractive residential environment; convenient pedestrian access to local facilities; being well served by public transport; and compatibility with other plan policies.

The proposed residential use is compatible with the surrounding predominantly residential uses and the scheme will provide an attractive residential environment in a sustainable location within 350m of Willenhall Local Centre, providing good access to local shops, services and public transport. The proposed development makes use of previously developed and currently vacant land and is considered to provide an appropriately designed building that will emphasise the corner plot and create a landmark feature.

The scheme is therefore considered to be acceptable in principle.

#### ***Design***

The NPPF Paragraph 56 states that the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Policy H12 of the Local Plan States that: a high standard of design will be required for new housing development in the City. The density of development should represent the most efficient use of sites consistent with the principles of good design and the creation of a sufficient range of high quality residential environments. Policy BE2 seeks to promote high quality urban design.

The application site is a visually prominent plot with frontages onto two street scenes. A bespoke building design is considered necessary to achieve the best layout solution for the triangular plot. The individually designed, contemporary building respects the building lines on both Meadfoot Road and St James Lane and the height appropriately

addresses the prominent corner, whilst the height decreases towards the existing built development to ensure that the development assimilates with the existing form.

The Council's Urban Designer has raised no objection to the scheme and considers that the design will provide a striking and sculptural landmark corner building; the sloping form of the building ensures that it will address the prominent corner whilst not being overbearing on the neighbouring two-storey dwellings; and the sloping roof form also cleverly allows for roof terraces to the accommodation in the upper floors. Subject to securing appropriate elevational materials the Urban Designer considers that this proposal will make for a positive contribution to the local area.

West Midlands Police have commented on the layout of the scheme, in particular access through the site, and consider that there is potential to generate issues with crime, particularly burglary, criminal damage and anti-social behaviour. To address the Police's concerns a condition is suggested to ensure that 'Secured by Design' standards are incorporated into the development.

### ***Impact on neighbouring amenity***

The proposed building will not breach the 45-degree sightline measured from the habitable windows of neighbouring properties. The proposed building will be located 12 metres from the rear elevation of the closest neighbouring property No.2 Meadfoot Road (measured at an oblique angle) in compliance with the SPG. The scheme is not therefore considered to create any significant impact upon the outlook, light or amenities of the occupiers of surrounding properties.

In terms of privacy the scheme provides several terrace areas set within the sloping roof and facing northwest towards No.2 Meadfoot Road. The design has been amended to provide 1.8m high angled vertical louvres to Unit 8's terrace to avoid any direct overlooking to No.2. These louvres will also be set 8 metres off the common boundary. Terraces set within the sloping roof have been designed to ensure that the finished floor level of each terrace is set 1.7m below the roof plane to avoid any overlooking potential. A condition is suggested to secure and maintain this detail.

The scheme is considered to provide a good quality residential environment for future occupiers with good sized rooms and all units benefitting from outside space. Environmental Protection (EP) had requested a noise survey due to the proximity of St James Lane and concerns regarding traffic noise. EP has raised no objection to the completed noise survey, subject to glazing and ventilation specifications proposed within the report being adhered to. A condition is suggested accordingly.

### ***Air quality***

EP confirm that the site is located within the Council's Air Quality Management Area and in line with the NPPF p.124 and the Council's Air Quality Action Plan conditions are recommended to minimise the impact of the development on local air quality.

Conditions include ensuring that any gas boilers meet appropriate emission rates (a dry NOx emission rate of <40mg/kWh), 10% of parking spaces are provided with electric vehicle recharging provisions and the agreement of a method statement to control dust and emissions during construction and demolition prior to commencement.

### ***Highway considerations***

The proposed scheme will provide eleven parking spaces, one for each flat. Officers are mindful of residents' concerns regarding the scheme exacerbating existing parking congestion and creating highway safety issues. West Midlands' Police have also questioned whether 11 parking spaces are sufficient for the scheme. Officers are mindful that the lawful use of the site is a dental surgery within a D1 Use Class, which would generate its own traffic and parking demands. The NPPF states that: 'Development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe'. In this case the Highway Authority considers that the impacts of the development are not severe and has therefore raised no objections to the scheme.

A secure, covered residents' cycle store is located on the ground floor, to provide a cycle space for each resident in accordance with the SPD. Conditions are suggested to ensure that necessary car parking; cycle parking and bin storage areas are provided prior to the first occupation of the building and thereafter kept available for such use at all times.

### ***Ecology/landscaping***

The County Ecologist has confirmed that the site has no specific nature conservation designation, and there are no records of protected species within the application site. The Bat and Nesting bird survey identified potential for bats and nesting birds in the roof of the buildings proposed to be demolished and the report therefore recommends that two bat activity surveys are carried out and a nesting bird timings/supervision option, which the Ecologist agrees can be secured by conditions.

The Council's Tree Officer considers that none of the trees on site are of Tree Preservation Order (TPO) quality that would merit their retention. The Tree Officer suggests replacement planting with fastigiated tree varieties (narrow canopies where branches grow more or less parallel to the main trunk), which will also allow better spacing between the building and new landscaping. A hard and soft landscaping condition is suggested to secure planting and appropriate hard landscaping, to include boundary treatments and either permeable hard standing or provision of porous areas on site for surface water run-off.

To ensure there is no net loss of biodiversity from the development the County Ecologist has also requested a condition to secure bat and bird boxes to be erected on the site.

### ***Contributions***

University Hospitals Coventry and Warwickshire NHS Trust has requested a contribution of £1965. This figure is based on the Trust's formula: development population and average admission activity rate per head of population by the Trust's costs. The formula has been previously assessed by the Council's Legal Team and found to be CIL compliant. The recommendation is therefore subject to the completion of a legal agreement relating to the requested NHS contribution.

### ***Other considerations***

Public Health has raised no objection and considers that the scheme is unlikely to have a negative impact on the health and wellbeing of future residents and the existing

community. A condition is suggested to ensure that the proposed development delivers, as a minimum, the required number of cycle storage spaces for residents and visitors as specified in the SPD.

West Midland's Fire Service has stated that there should be vehicle access for a pump appliance to within 45m of all points within each dwelling. This requirement falls within separate Building Control legislation, however the Fire Service's comments will be added as a note to ensure that applicant is aware of these obligations.

### **Conclusion**

The application is considered acceptable in principle and is not considered to affect neighbouring amenity or highway safety. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies OS4, OS6, OS10, BE2, H9, H12, AM1, AM12, AM22, EM4 and EM5 of the Coventry Development Plan 2001, SPG, together with the aims of the NPPF.

### **CONDITIONS/REASON**

1. The development hereby permitted shall begin no later than three years from the date of this permission.

**Reason:** *To comply with Section 91 of the Town and Country Planning Act 1990.*

2. The development hereby permitted shall be carried out in accordance with the following approved documents 2015-P02 AK0012A, 0014A, 0015A, 0016A, 0017A, 0018A, 0020A, 0021A, 0022A.

**Reason:** *For the avoidance of doubt and in the interests of proper planning.*

3. The development shall be carried out only in full accordance with sample details of the elevational and roofing materials, which have been submitted to and approved in writing by the local planning authority.

**Reason:** *To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy BE2 of the Coventry Development Plan 2001.*

4. No part of the residential development hereby permitted shall be occupied unless and until the external amenity space and bin storage areas have been laid out and provided in full accordance with the approved details and thereafter these facilities shall remain available for use at all times.

**Reason:** *In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policies BE2 & H12 of the Coventry Development Plan 2001.*

5. The development hereby permitted shall not commence unless and until large scale details of the roof terraces have been submitted to and approved in writing by the local planning authority. Details should include cross sections to demonstrate that the terraces will be enclosed by walls at least 1.7m high above

the finished floor level of the terrace. All details shall be carried out as approved prior to first occupation of the building.

**Reason:** *To ensure the amenities of adjoining properties are not detrimentally affected through overlooking or loss of privacy in accordance with Policies BE2 & H4 of the Coventry Development Plan 2001.*

6. The building shall not be occupied unless and until cycle parking has been provided in accordance with details that have been submitted to and approved in writing by the local planning authority and thereafter those facilities shall remain available for use at all times.

**Reason:** *In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies OS4 & AM12 of the Coventry Development Plan 2001.*

7. The development shall not be occupied unless and until the car parking areas indicated on the approved drawings have been provided and thereafter those areas shall be kept marked out and available for such use at all times.

**Reason:** *In the interests of highway safety and to ensure the free flow of traffic using the adjoining highway in accordance with Policy AM22 of the Coventry Development Plan 2001.*

8. The development (including any works of demolition) shall proceed only in strict accordance with a construction method statement which has been submitted to and approved in writing by the local planning authority. The approved statement shall be strictly adhered to throughout the construction period and shall provide for: the hours of construction at the site; the parking of vehicles of site operatives and visitors; the loading and unloading of plant and materials; the storage of plant and materials used in constructing the development; the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; and measures to control the emission of dust and dirt during construction.

**Reason:** *In the interests of highway safety and the amenities of the occupiers of nearby properties in accordance with Policies AM1 and EM5 of the Coventry Development Plan 2001.*

9. The development hereby permitted (including demolition) shall not commence until further bat survey of the site, to include two appropriate activity surveys in accordance with BCT Bat Surveys - Good Practice Guidelines, has been carried out and a detailed mitigation plan including a schedule of works and timings has been submitted to and approved in writing by the Local Planning Authority. Such approved mitigation plan shall thereafter be implemented in full.

**Reason:** *To ensure that protected species are not harmed by the development in accordance with the NPPF.*

10. No works to commence on site, including site clearance, unless and until a combined ecological and landscaping scheme has been submitted to and agreed in writing with the Local Planning Authority. The scheme must include all aspects of landscaping, including details of bat and bird boxes, house sparrow nest boxes and their locations. The agreed scheme to be fully implemented before/during development of the site as appropriate.

**Reason:** *To enhance biodiversity in accordance with the NPPF and ODPM Circular 2005/06.*

11. The development hereby permitted shall only be undertaken in strict accordance with details of both hard and soft landscaping works which have been submitted to and approved in writing by the local planning authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the colour of the railings and gates; footpaths; and hard surfacing which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area. The hard landscaping works shall be completed in full accordance with the approved details within three months of the first occupation of the development hereby permitted; and all planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes in the opinion of the local planning authority seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species, unless the local planning authority gives written consent to any variation. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.

**Reason:** *To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies BE2 & BE20 of the Coventry Development Plan 2001.*

12. No development shall take place unless and until a scheme has been submitted to and approved in writing by the local planning authority indicating where and how 'Secured by Design' standards will be incorporated into the development. The scheme shall be implemented in accordance with the approved details and retained at all times thereafter.

**Reason:** *To ensure the safety and security of future residents in accordance with Policy BE21 of the Coventry Local Plan 2001.*

14. The development shall not commence unless and until details for a package of measures to minimise the impact of the development upon local air quality have been submitted to and approved in writing by the local planning authority. Those measures shall have consideration of the following:-
  - (i) Provision for electric vehicle recharging points;
  - (ii) Use of low NOx boilers (to have a maximum dry NOx emissions rate of



40mg/kWh).

All details shall be carried out as approved.

**Reason:** *To mitigate the impacts of development on air quality in accordance with Policy EM2 of the Coventry Development Plan 2001.*

15. The development shall proceed in accordance with the submitted noise report by noise.co.uk - reference 17581-1-R1 dated 26th January 2017 and the glazing and ventilation specifications contained in section 8 shall be fully complied with.

**Reason:** *In the interests of the amenities of the future occupiers of the development in accordance with Policies EM5 and H9 of the Coventry Development Plan 2001.*

16. The development hereby permitted shall either:
- a) Be timetabled and carried out to avoid the bird breeding season (March to September inclusive) to prevent possible disturbance to nesting birds; and
  - b) Not commence until a qualified ecologist has been appointed by the applicant to inspect the building/vegetation to be cleared on site for evidence of nesting birds immediately prior to works. If evidence of nesting birds is found works may not proceed in that area until outside of the nesting bird season (March to September inclusive) or until after the young have fledged, as advised by the ecologist.

**Reason:** *To ensure that protected species are not harmed by the development in accordance with the NPPF.*

[AK0012 Location Plan](#)

[AK0013 Existing Site Plan](#)

[AK0014 Proposed Ground Floor](#)

[AK0015 Proposed 1<sup>st</sup> Floor](#)

[AK0016 Proposed 2<sup>nd</sup> Floor](#)

[AK0017 Proposed 3<sup>rd</sup> Floor](#)

[AK0020 Proposed Elevations 1 of 4](#)

[AK0021 Proposed Elevations 2 of 4](#)

[AK0022 Proposed Elevations 3 of 4](#)

[AK0023 Proposed Elevations 4 of 4](#)

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REFERENCE NUMBER:

FUL/2017/0756



SITE:

LITTLE CEDARS, MEADFOOT ROAD







LOCATION PLAN 1:1250



BLOCK PLAN 1:500

**FOR PLANNING**

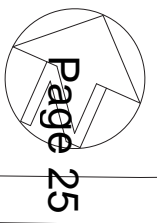
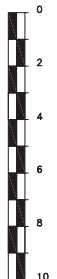
**2015\_P02 New Housing Development, Little Cedars, Meadfoot Road, Coventry CV3 3DW**

AK0012 Location Plan and Block Plan  
07 Oct 2016 Scale 1:1250 @ A3 / 1:500 @ A3

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SITE PLAN AS EXISTING

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 Mr + Mrs A. Morley  
 10 West View,  
 Somerby, Melton Mowbray,  
 Leicestershire LE14 2QH

Project  
 Little Cedars, Meadfoot Road,  
 Coventry CV3 3DW

Drawing  
 General Arrangement  
 Site Plan  
 as Existing

Scale	Date	Drawn
1:200@A3	21 Mar 17	BS
Drawing No.	Checked	
2015-P02	AK0013	BS

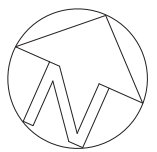
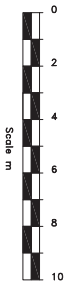
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Project  
Little Cedars, Meadfoot Road,  
Coventry CV3 3DW

Drawing  
General Arrangement  
Ground Floor Plan  
as Proposed

Scale	Date	Drawn
1:200@A3	21 Mar 17	BS
Drawing No.	Checked	
2015-P02	AK0014	BS

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GROUND FLOOR PLAN AS PROPOSED

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Project  
 Little Cedars, Meadfoot Road,  
 Coventry CV3 3DW

Drawing  
 General Arrangement  
 Second Floor Plan  
 as Proposed

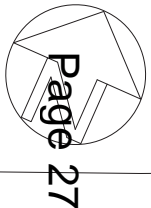
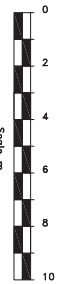
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SECOND FLOOR PLAN AS PROPOSED

MEADFOOT ROAD

2

ST JAMES LANE

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Leicestershire LE14 2QH

Project

Little Cedars, Meadfoot Road,  
Coventry CV3 3DW

Drawing

General Arrangement  
Third Floor Plan  
as Proposed

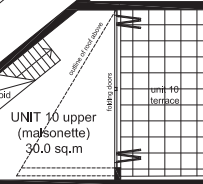
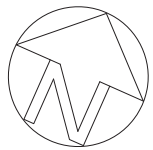
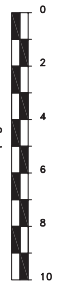
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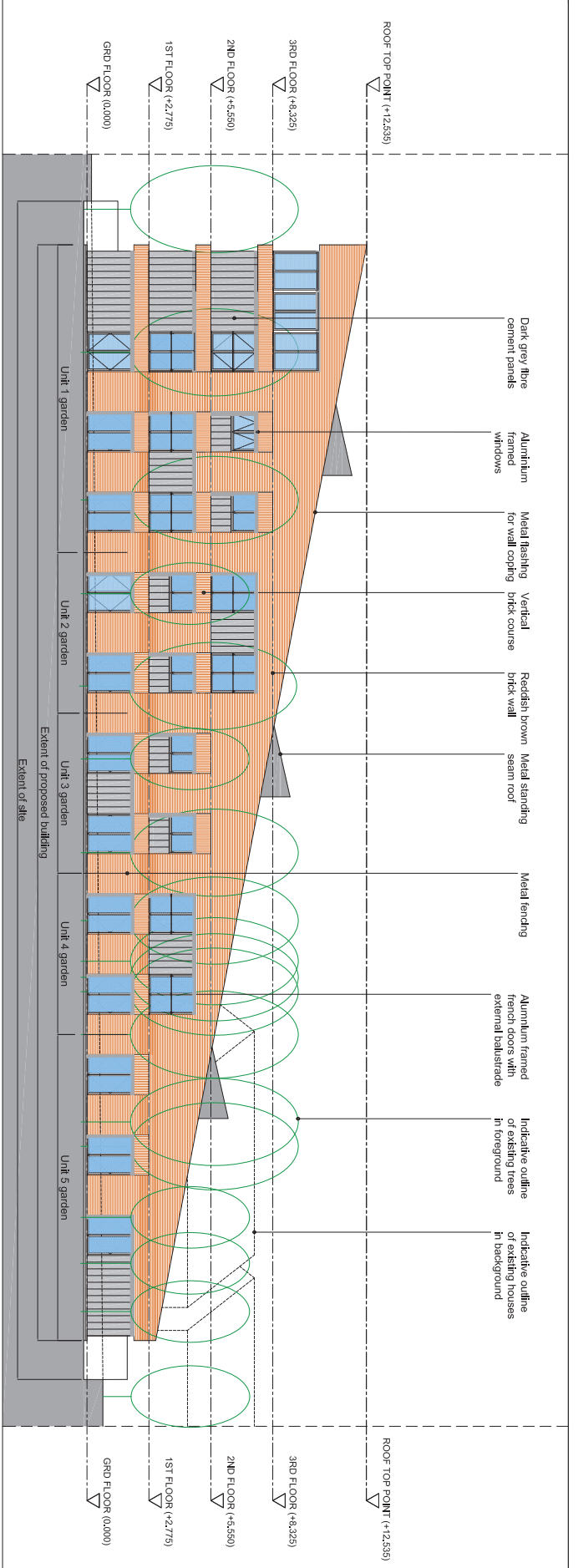
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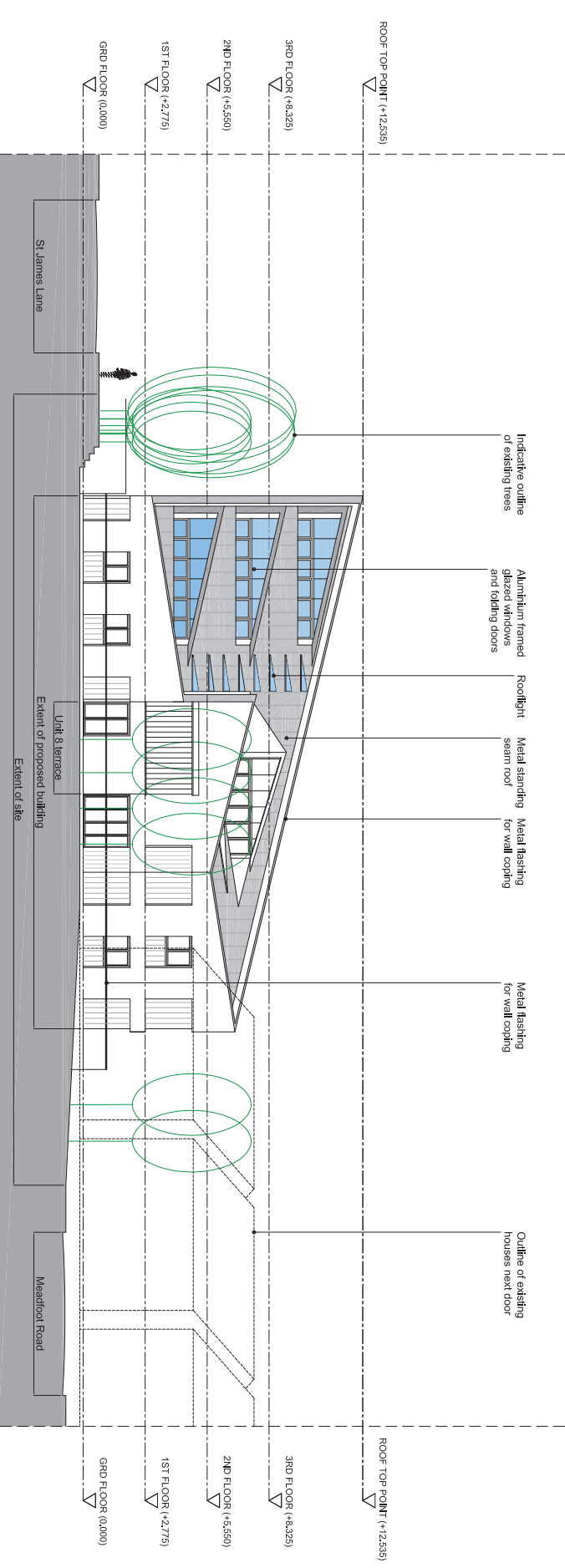
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**ST JAMES LANE ELEVATION AS PROPOSED**



**NORTH EAST ELEVATION (PARALLEL TO ST JAMES LANE) AS PROPOSED**

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 Leicestershire LE14 2QH

Project  
**Little Cedars, Meadfoot Road,  
 Coventry CV3 3DW**

Drawing  
**General Arrangement  
 Elevations 1 of 4  
 as Proposed**

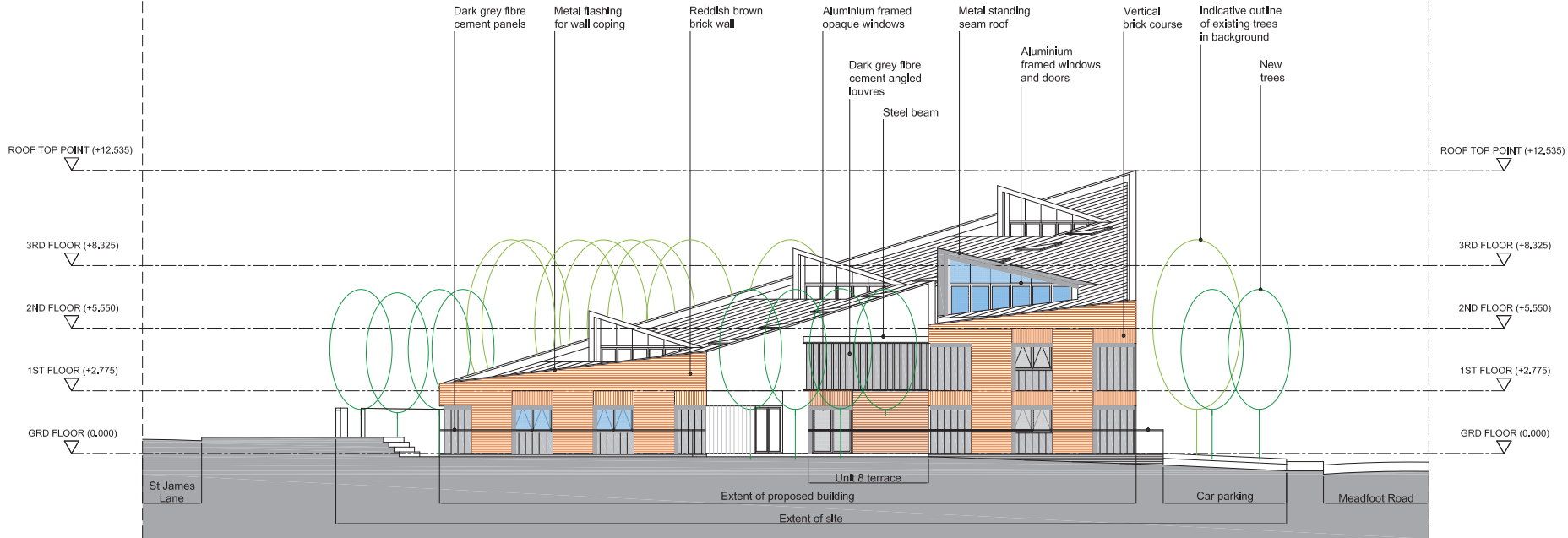
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**AK0020**  
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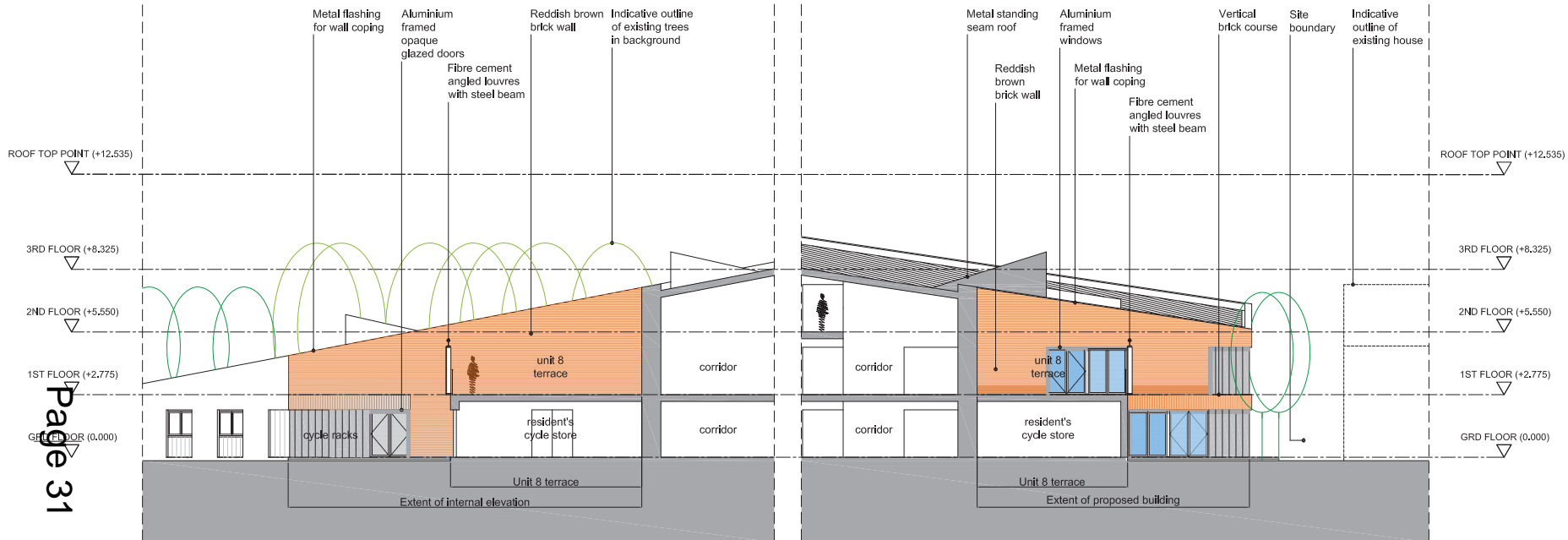
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FOR PLANNING



NORTH EAST ELEVATION (PARALLEL TO MEADFOOT ROAD) AS PROPOSED



ST JAMES LANE BLOCK INTERNAL ELEVATION AS PROPOSED

MEADFOOT ROAD BLOCK INTERNAL ELEVATION AS PROPOSED

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Client  
 Mr + Mrs A. Morley  
 10 West View,  
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 Leicestershire LE14 2QH

Project  
 Little Cedars, Meadfoot Road,  
 Coventry CV3 3DW

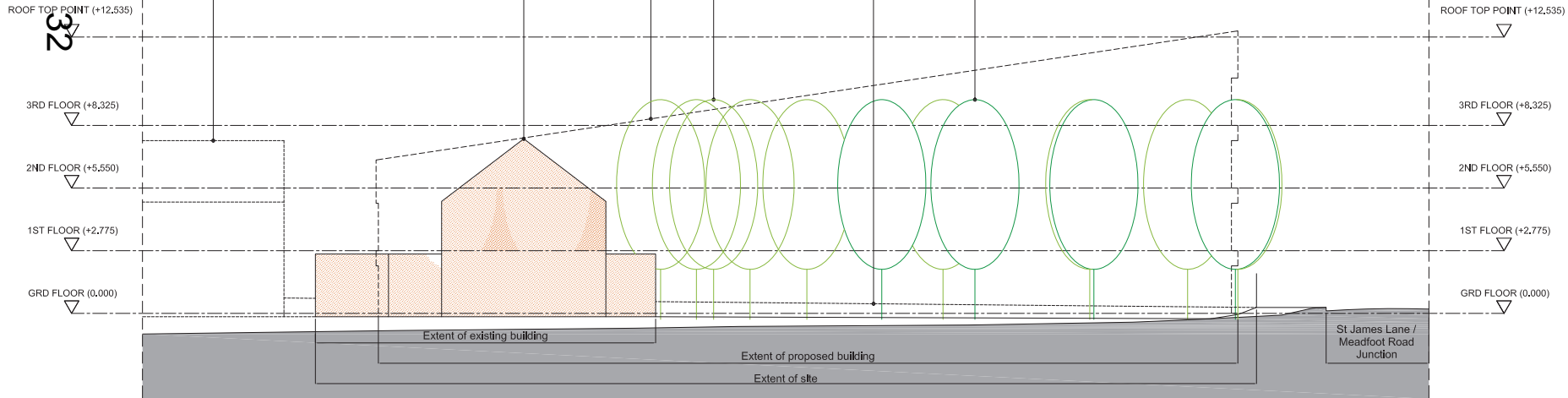
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 Elevations 2 of 4  
 as Proposed

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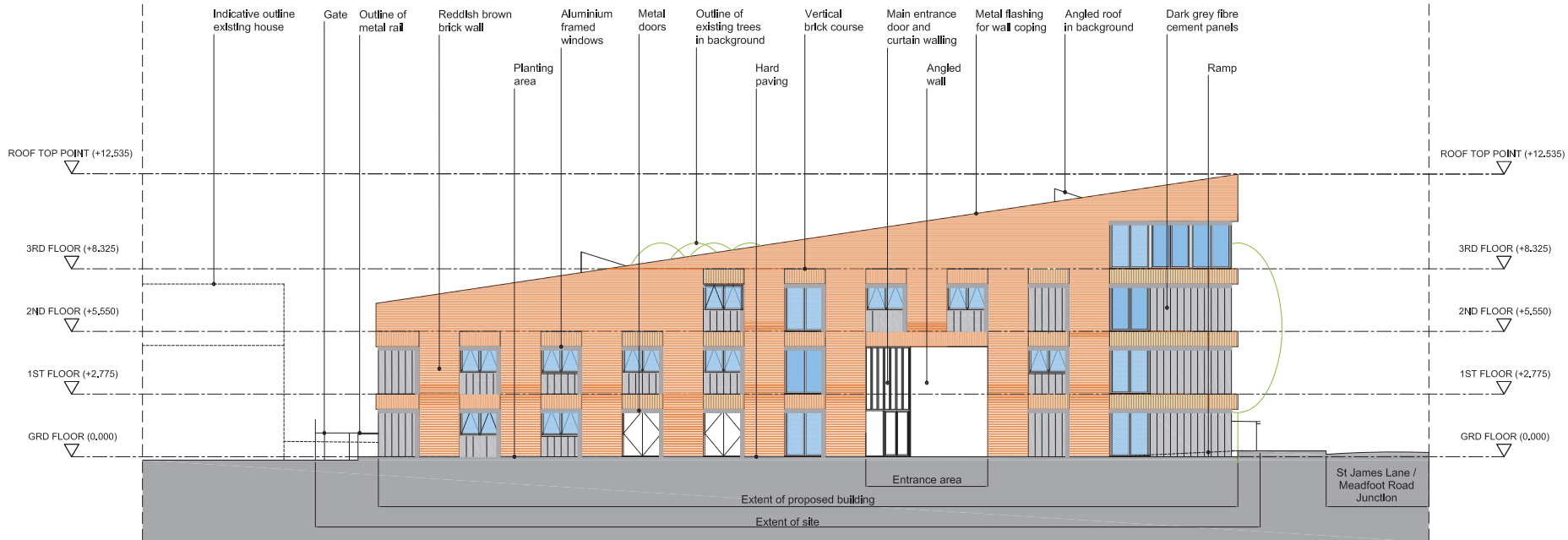
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MEADFOOT ROAD ELEVATION AS EXISTING



MEADFOOT ROAD ELEVATION AS PROPOSED

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Project  
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 Coventry CV3 3DW

Drawing  
 General Arrangement  
 Elevations 3 of 4  
 as Proposed

Scale Date Drawn  
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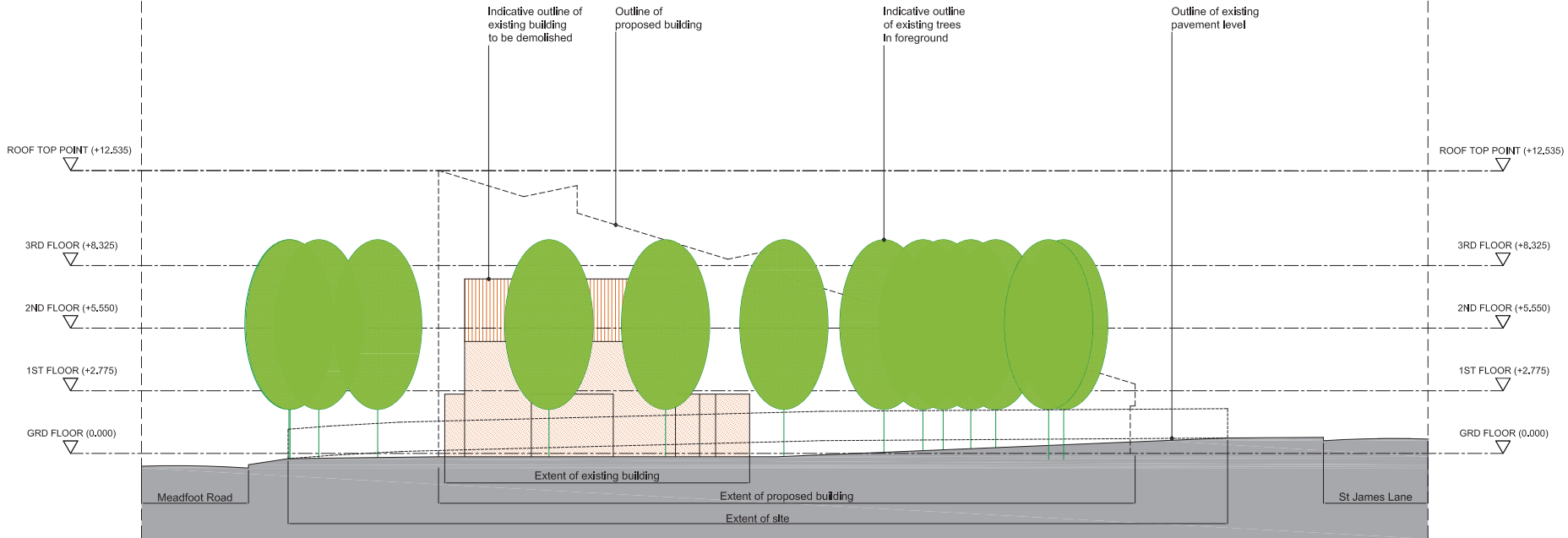
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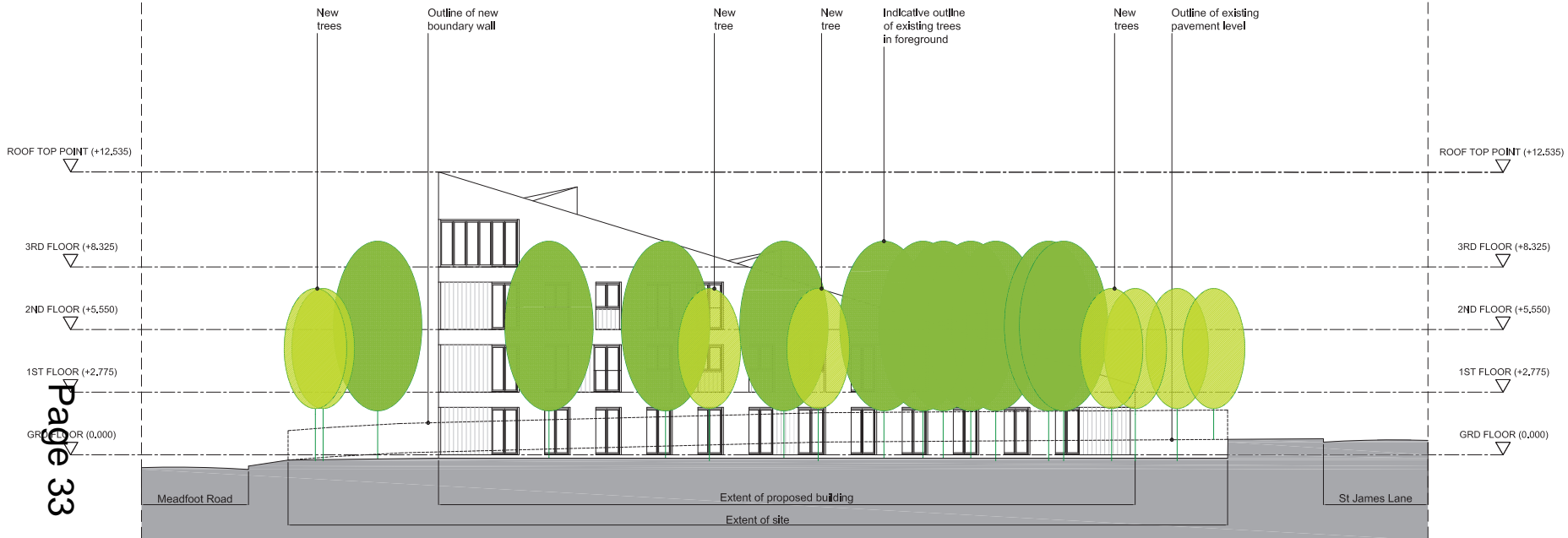
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FOR PLANNING



SOUTH WEST ELEVATION (PARALLEL WITH MEADFOOT ROAD) AS EXISTING



SOUTH WEST ELEVATION (PARALLEL WITH MEADFOOT ROAD) AS PROPOSED

Rev No. Date Checked

Client  
 Mr + Mrs A. Morley  
 10 West View,  
 Somerby, Melton Mowbray,  
 Leicestershire LE14 2QH

Project  
 Little Cedars, Meadfoot Road,  
 Coventry CV3 3DW

Drawing  
 General Arrangement  
 Elevations 4 of 4  
 as Proposed

Scale	Date	Drawn
1:200@A3	21 Mar 17	BS
Drawing No.	Checked	
2015-P02	AK0023	BS

Revision  
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<b>Planning Committee Report</b>	
<b>Planning Ref:</b>	FUL/2017/0519
<b>Site:</b>	Edgwick Park Industrial Estate, Canal Road
<b>Ward:</b>	Foleshill
<b>Applicant:</b>	Mr Vining, Wigleys Contracts (Barby) Ltd
<b>Proposal:</b>	Demolition of existing warehouse to develop new commercial units (Class B1, B2, B8) and an indoor go karting facility (sui generis use); widening of existing entrance, parking and manoeuvring areas and associated landscaping
<b>Case Officer:</b>	Andrew Cornfoot

**SUMMARY**

The application proposes the demolition of an existing warehouse and the redevelopment of the site for commercial units (Class B1, B2 and B8) together with a Go Karting facility. Access will primarily be through the existing industrial estate. The Go Karting track will utilise electric vehicles only.

**KEY FACTS**

<b>Reason for report to committee:</b>	Representations from more than 5 properties
<b>Current use of site:</b>	Industrial – warehousing. Although the site appears to be unused at present.
<b>Proposal:</b>	Eight 5,000 sq ft new B1/B2/B8 commercial units will be built and one 25,000 sq ft Go Karting facility constructed
<b>Access:</b>	Access will be taken from existing access points (there will be no opening up of access to traffic from Cross Road/Canal Road

**RECOMMENDATION**

Planning committee are recommended to grant planning permission subject to conditions.

**REASON FOR DECISION**

- The principle of development is acceptable given the historic use of the site and extant permissions, the design of the development is considered to be acceptable, the proposal will not significantly adversely impact upon highway safety or the amenity of neighbours. The proposal is considered to be acceptable in all other respects.
- The proposal accords with Policies OS3, OS4, OS6, OS7, EM2, EM4, EM5, EM6, EM8, E1, E10, E12, E13, AM1, AM12, AM22, BE2, BE20, BE21, GE14 of the Coventry Development Plan 2001, together with the aims of the NPPF.



## BACKGROUND

### **APPLICATION PROPOSAL**

Full planning permission is sought for the demolition of an existing warehouse and the redevelopment of the site for new commercial units (Use Class B1, B2 and B8) and an indoor go karting facility (sui generis use). The proposal also includes the widening of the existing entrance, car parking and manoeuvring areas and associated landscaping.

The proposal would see a large 25,000 sq ft go karting centre (Unit A) be built towards the southern end of the site and this would be served by 49 car parking spaces. 17 of these would be accessed from the southern access to the site and the remainder are located to the northern side of the building, accessed from the main site access.

8 other commercial units are proposed each measuring 5,000 sq ft and each being served by 7 car parking spaces. 20 cycle parking spaces in a covered store are also proposed to the front of the site behind the existing wall.

The 8 units are arranged in a 'T' shape with 4 units fronting Canal Road, with car parking and a service road in front and 4 fronting the adjacent warehouse to the east with car parking to the front accessed off a further service road which will extend along much of the eastern boundary to the site.

Vehicular access to the site will remain via The Stampings and Canal Road through the Edgwick Park Industrial Estate as the existing vehicle barrier towards the eastern end of Canal Road will be retained. A secondary access however is proposed off a spur of Cross Road to the south of the site to provide 17 car parking spaces to serve Unit A.

The development would be clad with grey wall cladding with a darker shade of grey to the entrances of the units. The roof would also be clad in a grey colour and rooflights are included to allow additional light into the units.

Small areas of soft landscaping are included within the site.

### **SITE DESCRIPTION**

The irregular shaped site covers an area of approximately 1.48 hectares and is situated in the Foleshill Ward to the northern side of Coventry and is bounded by Cross Road to the west and Canal Road to the north. A large warehouse building (of 7706 sqm) covers much of the site and this extends alongside the rear boundary of around 30 properties on the eastern side of Cross Road. Whilst there are no buildings close to Canal Road historically there were buildings in this location and this area has been used for external storage of HGVs. This area is hard surfaced at present. Immediately to the east of the site is an existing warehouse and there is further industrial/commercial development to the north east and south of the site.

Vehicular access is taken off Canal Road via The Stampings through the Edgwick Park Industrial Estate as a vehicle barrier towards the eastern end of Canal Road prevents access for vehicles travelling from the Cross Road/Canal Road junction. The site is closely linked to the A444 Phoenix Way and Foleshill Road. A secondary access is located to the southern end of the site.



The site is in a mixed use area with other industrial properties, retail and residential development all closely adjoined.

### **PLANNING HISTORY**

Much of the application site has a historic use as an employment site from the 1920s. There have been a number of historic planning applications on this site; the following are the most recent/relevant:

<b>Application Number</b>	<b>Description of Development</b>	<b>Decision and Date</b>
R/2009/0163	Outline application to convert and extend existing warehouse to commercial units (Class B1, B2 and B8, all reserved matters submitted), erect Royal mail delivery offices (Class B8, All Reserved matters submitted) Discount food store (class A1) with offices above (Class B1, all matters reserved for subsequent approval), non-food DIY store (Class A1, details of layout submitted) and hotel (Class C1) with restaurant / public house (Class A3/ A4, all matters reserved for subsequent approval) and associated highway works.	Approved, 28/05/2009
R/2005/5519	Demolition of existing buildings and construction of industrial units (Use Class B1, B2 & B8), Retail Units (Use Class A1), Restaurant (Use Class A3/A5) and Car Dealership; new access, landscaping and associated engineering works (adjacent site)	Approved, 11/05/2006
S/1986/0241	Use of building for industrial and warehousing purposes and formation of estate road (adjacent site – part of Godiva Trading Estate)	Approved, 31/12/1986

The first of these applications has been implemented and is therefore an extant permission. This allows for the conversion and extension of the large warehouse on the site for smaller B1, B2 and B8 commercial units, similar to those now proposed.

### **POLICY**

#### **National Policy Guidance**

National Planning Policy Framework (NPPF). The NPPF published in March 2012 sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF promotes sustainable development and good design is recognised as a key aspect of this.

The National Planning Practice Guidance (NPPG) 2014, this adds further context to the NPPF and it is intended that the two documents are read together.

### ***Local Policy Guidance***

The current local policy is provided within the Coventry Development Plan 2001 (CDP) relevant policy relating to this application is:

OS3 – Local area regeneration  
OS4 – Creating a more sustainable city  
OS6 – Change of land use  
OS7 – Mixed land use  
EM2 - Air quality  
EM4 – Flood risk and development  
EM5 – Pollution protection strategy  
EM6 – Contaminated land  
EM8 – Light pollution  
E1 – Overall economy and employment strategy  
E10 – Accessibility to job opportunities  
E12 – Warehousing development  
E13 – General industrial development (B2) in residential areas  
AM1 – An integrated, accessible and sustainable transport strategy  
AM12 – Cycling in new developments  
AM22 – Road safety in new developments  
BE2 – The principles of urban design  
BE20 – Landscape design and development  
BE21 – Safety and security  
GE14 – Protection of landscape features.

### ***Emerging Policy Guidance***

The Draft Local Plan 2016 to 2031 has been submitted to the Inspectorate, examination hearings and consultation on modifications has concluded and the Inspectors report is currently awaited. Whilst the policies do not hold significant weight at this time, they will gain weight as the local plan continues through the process. Policies within the draft local plan that are relevant include:

DS1 – Overall development needs  
DS3 – Sustainable development policy  
EM1 – Planning for climate change adaptation  
EM4 – Flood risk management  
EM6 – Air quality  
JE1 – Overall economy and employment strategy  
JE5 – Location of R&D, industrial and storage/distribution development  
JE7 – Accessibility to employment opportunities  
AC1 – Accessible transport network  
AC4 – Walking and cycling.

### ***Supplementary Planning Guidance/ Documents (SPG/ SPD):***

SPD Delivering a more sustainable city

## **CONSULTATION**

No Objections have been received from:

- West Midlands Fire Service
- Urban Design (CCC).
- Ecology (WCC) - Recommend informatives relating to the protection of bats, nesting birds and native planting.

No objections subject to conditions have been received from:

- Environment Agency – Subject to a condition requiring a risk assessment, site investigation, a remediation strategy and a subsequent verification report.
- Severn Trent Water – Recommend a condition requiring surface water and foul sewage details. An informative relating to public sewers is also proposed.
- West Midlands Police – No objections. Various design guidance provided.
- Environmental Protection (CCC) – No objections subject to a condition relating to delivery hours (preventing them between the hours of 23:00-07:00) to limit noise from the service yard. Further conditions are sought relating to contaminated land, Japanese knotweed, UXO risk assessment recommendations, external plant, a travel plan and the inclusion of electric vehicle charging points.
- Highways (CCC) – Recommend conditions relating to the creation and laying out of the accesses, turning area and parking facilities prior to occupation, the submission of a travel plan and a construction method statement.
- Sustainability (CCC) – No objections to the energy statement. A condition is proposed requiring full details of measures to meet the 10% renewables requirement.
- Skills and Growth (CCC) – Recommend a condition relating to encouraging local employment during construction and post-construction.
- Flood Risk/Drainage (CCC) – No objections subject to greenfield run off rates and a number of conditions relating to flood risk and drainage.

Immediate neighbours and local councillors have been notified; 3 site notices were displayed near to the site on 23/03/2017. A press notice was displayed in the Coventry Telegraph on 23/03/2017.

6 letters of objection have been received as well as a 62 signature petition, raising the following material planning considerations:

- a) Noise from commercial units. Would like to see restrictions to working hours and noise levels
- b) Noise from Go Karting track. Would like to see restrictions to operating hours and noise levels
- c) Traffic and highway safety concerns – on Canal Road and junction of Canal Road and Cross Road and also at the new access from Cross Road. There is no access to the industrial estate at present from Canal Road and Cross Road as the roads cannot handle the vehicles. Canal road must remain closed for access to the industrial estate.
- d) Parking problems – the development will exacerbate existing problems with workers parking on Canal Road and Cross Road causing problems for the residents as well as problems when there are events at the community centre and temples.
- e) Boundary wall – the existing wall of the site to Canal Road is in a poor state and needs replacing
- f) Poor access for emergency vehicles

Correspondence has also been received from Cllr Abdul Khan advising that whilst the residents are not against the application in principle, there are elements that are causing particular concern which they would like to be addressed including:

- g) They would request that a restriction is placed on the hours of operation and that they not be allowed to operate after 10pm at night;
- h) Provision of a Go-Kart track. Residents do not believe that it is appropriate to have a Go-Kart track in a residential area due to the excessive noise it would generate;
- i) They request that the units do not have windows that look onto Canal Road;
- j) The application shows planting on the boundary with Canal Road but there are breaks in the planting scheme. They have asked that the planting is extended along the complete boundary with Canal Road.
- k) They would like provisions made so that the existing entrances on Canal Road are not permitted to be used.
- l) They would like the existing wall to be tidied up.

In one of the letters which raises concern about car parking, there is also support for the idea of a Go Karting track.

Any further comments received will be reported within late representations.

### ***APPRAISAL***

The main issues in determining this application are principle of development, design, impact on neighbouring amenity (including noise), highway considerations, flood risk and contaminated land.

#### ***Principle of development***

The application site has an extant permission for redevelopment for employment units, with permission being granted in 2009 for a larger development which included the conversion and extension of the existing 7,706 sqm warehouse on this site to provide 8477 sqm of B2 floorspace. The site also has a lawful and a historic use as an employment site.

The proposed development seeks to provide 6363 sqm of B1/B2/B8 floorspace. Given the lawful B8 use, the extant permission for a B2 use and the fact that a B1 use is likely to have less impact upon neighbouring residents than B2/B8 uses, it is considered that the redevelopment of the site for these uses is acceptable in principle.

Policy OS3 of the CDP identifies Foleshill as a 'Priority Area' where the redevelopment of previously-developed sites, job creation, improving economic conditions and the improvement of the built environment are promoted and encouraged. The development will achieve the aims of this policy by regenerating a dated employment site and providing employment opportunities (although it is unknown what the extent of this employment generation will be). A condition is proposed requiring the submission of a scheme to target local employment for construction and post-construction opportunities relating to the site.

Overall, it is considered that the principle of development is acceptable, subject to the detailed consideration of the remaining issues in the 'Appraisal'.

## ***Design***

The layout of the proposed development is considered to be an efficient use of the site and largely continues the existing situation of blank walls of industrial premises being located near to the rear boundary of properties on Cross Road and in this regard is little different to the existing arrangement. Whilst the development may be slightly greater in height along this boundary, given that the development is on a lower ground level to the houses, on balance the relationship is considered to be acceptable. The current proposals also include a large gap between Unit A and the remaining units, thus significantly improving the outlook for a number of properties on Cross Road.

The design of the units are functional and typical of what is usually expected of commercial units, albeit the indicative materials appear to be of good quality and the use of colour to the entrances will add some visual interest.

Soft landscaping is proposed within the car parking to the scheme and to the public edges of the site, which will help soften the impact of the development and improve the appearance of the site.

West Midlands Police have raised a number of comments about designing out crime and the applicant has provided a response setting out measures they intend to implement. It is considered that the layout of the site is such that the potential for crime is not high and suitable measures such as lighting, gating, boundary treatment and CCTV will help minimise the potential for crime.

A noise assessment has been submitted and whilst this is considered to be acceptable Environmental Protection officers have concerns over the potential for the unrestricted use of the service yard to the edge of the site fronting Canal Road and Cross Road. A large wall would be visually undesirable in this location as a noise barrier and therefore officer's consider it appropriate to limit delivery hours to outside of the hours of 23:00-07:00. Existing gaps to the wall fronting Canal Road would also be infilled, which will serve to address some of the concerns raised by residents.

## ***Impact on neighbouring amenity***

The proposed development is located in close proximity to residential properties and therefore it is important to protect the amenities of these residents. As indicated above, the layout which includes buildings to the rear of properties on Cross Road is not dissimilar to the existing arrangement and whilst the development may be slightly greater in height along this boundary, given that the development is on a lower ground level to the houses, the relationship is considered to be acceptable. The current proposals also include a large gap between Unit A and the remaining units, thus significantly improving the outlook for a number of properties on Cross Road.

The Council's Environmental Protection team had initially raised concerns over noise from the proposed development. However, the applicant has subsequently provided a Noise Assessment and a further statement relating to service yard noise. This information predicts night time deliveries to be 2dB above background noise levels at the nearest receptors which Environmental Protection Officers consider to be acceptable given the context of the site as an existing industrial use that may already be subject to night time HGV deliveries. Conditions are proposed to limit the hours of deliveries to outside of 23:00-07:00 and to prevent external storage or outdoor use of machinery. A further

condition is proposed to minimise the impact of noise breakout from the units. Existing railings and dilapidated wooden gates along much of Canal Road will also be in-filled to minimise any noise impact upon neighbouring residents.

The Go-Karting facility will use vehicles with electric rather than petrol motors and therefore noise from Unit A is likely to be minimal. The applicant has confirmed that they would be happy for this to be conditioned along with conditions relating to noise reduction works to the Go Kart track detailed in section 4.16 of the Noise Assessment, plant noise and the perimeter wall. Subject to conditions relating to these matters, it is considered that the proposed development will have an acceptable impact upon the amenities of nearby residents.

### ***Highway considerations***

The application site is located in a sustainable location accessible by a range of means of transport. The applicant has prepared a Transport Statement and Framework Travel Plan to support their application.

The two existing accesses to the site will be used albeit the existing access from Cross Road (to the eastern side of the vehicle barrier) will be altered slightly for the development. Formal car parking bays and cycle parking is to be provided within the scheme which will minimise the need for on-street parking on local roads. Concerns have been raised by residents over the potential use of Canal Road (to the western side of the barrier) for vehicular access into the site. However, there is no intention to remove the barrier and this does not form part of the application and therefore access will remain through the existing industrial estate.

In order to prevent parking issues between the Go Karting track and the remaining units, a car park management plan condition is proposed to ensure that this is appropriately managed.

The Local Highway Authority has raised no objections to the proposed development including the accesses and parking arrangements subject to conditions relating to the creation and layout out of the accesses, turning area and parking facilities prior to occupation, a construction management plan and the submission of a travel plan. Whilst concerns have been raised by residents relating to car parking, officers consider the level of parking provision provided is acceptable. A further condition is also proposed relating to the provision of cycle parking. It is considered that the proposal accords with Policies AM1, AM12 and AM22 of the Coventry Development Plan 2001.

### ***Drainage***

A Flood Risk Assessment has been submitted to support the application. The Council's Flood Risk and Drainage team welcome the proposals to redevelop the site however do not accept the applicant's arguments that the site should not return to runoff rates to a pre-development greenfield condition as where a site is redeveloped the opportunity should be sought to reduce runoff rates back to greenfield rates (in accordance with the Council's Strategic Flood Risk Assessment). A number of conditions are proposed relating to drainage and subject to these conditions it is considered that the development will be acceptable and accord with Policy EM4 of the Coventry Development Plan 2001.

### ***Contaminated land***

The Council's Environmental Protection team and The Environment Agency have reviewed the Desk Study/Phase I Geoenvironmental Risk Assessment submitted with the application and raise no objection subject to standard conditions relating to a site investigation, a remediation strategy, the implementation of the remediation strategy and a verification report. In accordance with the desk study, a condition is proposed relating to the recommendations regarding the potential for unexploded ordnance. A further condition is also proposed requiring a Japanese Knotweed survey to be undertaken, with the subsequent implementation of any mitigation that may be required. Subject to these conditions it is considered that the development accords with Policy EM5 of the CDP.

### ***Other considerations***

In order to demonstrate compliance with sustainability objectives the applicant has submitted an Energy Strategy. This indicates that the development will use passive design measures including a fabric first approach to achieve a low energy development and achieves the target of 10% reduction against the Part L (Building Regulations) 2013 Target Emission Rate. It highlights that through adopting passive design measures, particularly the use of LED lighting and a fabric first approach to the heated areas, there will be a carbon saving of around 13%. The strategy does not include any renewable technologies as the Council's 10% target in the SPD will be achieved without this. The Council's Sustainability team has raised no objections especially as the developer is prepared to go beyond our 10% minimum requirement. A condition is proposed requiring the development to meet this target.

A condition is recommended relating to the inclusion of electric vehicle charging points. The applicant has shown 2 on the plans. However, officers consider that a total of 9 should be provided (one per unit) in accordance with the aims of the sustainability aims of the NPPF. A condition is proposed to this effect.

A further condition is proposed requiring the submission of a construction management plan. This will ensure that consideration is given to the impact of the construction works upon the local highway network and to ensure that noise, dust and mud from construction are controlled.

### ***Conclusion***

The proposed development is acceptable in principle and will regenerate an under-utilised site and bring it back into a more efficient use creating jobs in a 'Priority Area'. The design of the development is considered to be acceptable and the proposal will not significantly adversely impact upon highway safety or the amenity of neighbours subject to mitigation measures. The proposal is considered to be acceptable in all other respects. The proposal accords with Policies OS3, OS4, OS6, OS7, EM2, EM4, EM5, EM6, EM8, E1, E10, E12, E13, AM1, AM12, AM22, BE2, BE20, BE21, GE14 of the Coventry Development Plan 2001, SPD 'Delivering a more sustainable city', together with the aims of the NPPF.

## CONDITIONS/REASON

1. The development hereby permitted shall begin no later than three years from the date of this permission.

**Reason:** *To comply with Section 91 of the Town and Country Planning Act 1990.*

2. No development shall take place until a scheme for targeting and utilising local people for construction and post construction employment has been submitted to and approved in writing by the local planning authority. Thereafter, the scheme shall be implemented in full accordance with the approved details.

**Reason:** *In the interests of promoting employment opportunities for local people in accordance with Policy E10 of the Coventry Development Plan 2001.*

3. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by the Local Planning Authority. The Statement shall provide for:
  - i) the parking of vehicles of site operatives and visitors;
  - ii) loading and unloading of plant and materials;
  - iii) storage of plant and materials used in constructing the development;
  - iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
  - v) wheel washing facilities;
  - vi) measures to control the emission of noise (including hours of operation of construction works), dust and dirt during construction;
  - vii) a scheme for recycling/disposing of waste resulting from demolition and construction works; and
  - viii) details of pre-commencement checks for bats in any mature trees, breeding birds and amphibians, and appropriate working practices and safeguards for wildlife that are to be employed whilst works are taking place on site.The approved Construction Method Statement shall be adhered to throughout the construction period for the development.

**Reason:** *To ensure minimal impact upon the safe operation and management of the highway network, in the interests of the amenities of the occupiers of nearby properties and the visual amenities of the locality and to ensure that protected species are not harmed by the development in accordance with Policies AM1, AM22, EM5, BE2 and GE15 of the Coventry Development Plan 2001.*

4. Prior to commencement of development (excluding demolition works), the following information and evidence shall be submitted to and approved by the Local Planning Authority:
  - i) A scheme for the provision of surface water drainage, fully incorporating SuDS with particular emphasis on attenuation techniques. There must be consideration of features such as green roofs, rain gardens and swales, for the management of surface water peak and total flows, biodiversity and water filtering, in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City';
  - ii) A detailed strategy for the long-term maintenance of the SuDS and other surface



water drainage systems on site;

iii) Development discharge rates to be managed to Qbar greenfield rates minus 20%. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the SFRA;

iv) Information held by Coventry City Council indicates that the site and site entrance may be subject to surface water flooding during a 1:30 year event. The development must not exacerbate this flood risk and where possible reduce this. On this basis, a site specific flood risk assessment considering surface water and appropriate mitigation measures to manage down this risk shall be submitted;

v) An intrusive ground investigation report to establish the depth and type of strata, including percolation results in accordance with BRE 365 and the presence and risk associated with migrant contaminants. Provide evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design;

vi) All 'within building plot' drainage must be considered for the incorporation of water re-use systems, such as grey water harvesting, to manage down both peak and total rainfall runoff discharging to sewer systems, watercourses and groundwater;

vii) The development must be considered for the implementation of permeable paving for the management of total surface water flows, and water filtering in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City';

viii) The development shall not be commenced until such time as a scheme to install vehicular traffic pollution control measures within the car parking facilities, together with oil and petrol separators with high level alarm, has been submitted to, and approved by, the Local Planning Authority. This should be submitted along with a periodic maintenance plan;

ix) Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway; and

x) Foul sewage plans.

**Reason:** *To ensure that a satisfactory means of drainage is provided to minimise flooding and which promotes and maintains the good stewardship of the natural and built environment in accordance with Policy EM4 of the Coventry Development Plan 2001.*

5. The development shall be carried out only in full accordance with sample details of the external facing and roofing materials and a materials schedule which shall first have been submitted to and approved in writing by the Local Planning Authority.

**Reason:** *To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy BE2 of the Coventry Development Plan 2001.*

6. No commercial unit or the Go Karting unit hereby permitted shall be occupied unless and until the accesses, turning areas, car parking and cycle parking facilities shown on the approved plans have been properly consolidated, surfaced, drained, free of loose stone and otherwise constructed in accordance with details to be submitted and approved in writing by the Local Planning Authority and these areas shall thereafter be retained and kept available for those uses at all times. The cycle parking details shall include include the siting, design, appearance and

type of stands/shelter.

**Reason:** *To ensure that adequate manoeuvring and parking space is available to serve the development in the interests of traffic safety and to ensure adequate cycle parking provision in accordance with Policies AM12, M22 and OS4 of the Coventry Development Plan 2001 and Supplementary Planning Document 'Delivering a more sustainable city' 2009.*

7. Within 3 months of the development hereby approved being brought into use, a full Travel Plan shall be submitted to and approved by the Local Planning Authority. This shall identify a package of proposed measures and targets consistent with the aim of reducing reliance on the car, and encouraging the use of sustainable transport.

**Reason:** *To promote sustainable travel with a view to reducing congestion, the environmental impact of car use and to improve health in accordance with Policy OS4 of the Coventry Development Plan 2001.*

8. Prior to first occupation of any unit hereby approved, bin storage facilities for each unit shall be provided in the locations shown on drawing (PL)006 'Proposed floor plans'. These areas shall thereafter be retained and kept available as refuse storage areas and there shall be no other permanent areas of outdoor refuse storage within the site.

**Reason:** *In the interests of the visual amenities of the area, site safety and in the interests of the amenities of nearby residents in accordance with Policies BE2 and EM5 of the Coventry Development Plan 2001.*

9. No external lighting or illumination of any part of any building or the site shall be installed or operated unless and until details of such lighting or illumination have been submitted to and approved in writing by the Local Planning Authority, and such works, and use of that lighting and/or illumination, shall be carried out and operated only in full accordance with those approved details.

**Reason:** *To ensure that any lighting is designed so as not to detrimentally affect the amenities of the occupiers of nearby properties in accordance with Policies EM5 and EM8 of the Coventry Development Plan 2001.*

10. Notwithstanding the provisions of The Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no external plant, machinery, condensers, extraction equipment or telecommunications apparatus shall be installed, erected or replaced on the application site or buildings without the prior written approval of the Local Planning Authority.

**Reason:** *To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area and to ensure that the premises are not used in a manner prejudicial to or likely to cause nuisance or disturbance to the occupiers of nearby properties in accordance with Policies BE2, EM5*

and OS6 of the Coventry Development Plan 2001.

11. The Go Karting unit hereby approved shall at all times operate in accordance with the following measures:
  - i) Only vehicles with electric motors shall be used on the Go Karting track; and
  - ii) The proposed noise reduction works to the Go Karting unit as detailed in Section 4.16 of the 'Noise Impact Assessment, Rev P1, prepared by BWB, 15/05/2017'.

**Reason:** In the interests of protecting neighbouring residential properties from unacceptable noise levels in accordance with policies EM5, E13 and OS6 of the Coventry Development Plan 2001.

12. No deliveries shall be taken at or despatched from the site before 07:00 or after 23:00 or at any time on Sunday or Bank / Public Holiday.

**Reason:** In the interests of protecting neighbouring residential properties from unacceptable noise levels in accordance with policies EM5, E13 and OS6 of the Coventry Development Plan 2001.

13. Prior to the first occupation of each unit (and subsequent occupation thereafter) a noise report detailing noise breakout from that unit taking into account the operations and machinery to be used within the unit and detailing mitigation measures to minimise the impact of the noise breakout on neighbouring properties shall be submitted to and approved in writing by the Local Planning Authority. Any approved mitigation measures shall be carried out in full prior to the occupation of that unit.

**Reason:** In the interests of protecting neighbouring residential properties from unacceptable noise levels in accordance with policies EM5, E13 and OS6 of the Coventry Development Plan 2001.

14. The development hereby permitted shall only be undertaken in strict accordance with the soft landscape works identified on drawing TNA\_465\_01 Rev A 'Soft landscape proposals' and associated document 'Specification for soft landscape proposals, TNA/465A, prepared by Taylor Nightingale and Associates, January 2017'. All planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the first occupation of the development. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes in the opinion of the local planning authority seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species, unless the local planning authority gives written consent to any variation. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.

**Reason:** To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies BE2 and BE20 of

*the Coventry Development Plan 2001.*

15. Prior to commencement of development details of all hard landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved details. Details of hard landscaping works shall include boundary treatment, including full details of any proposed boundary walls, railings and gates to be erected, specifying the colour of the railings and gates; footpaths; and hard surfacing which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area. The hard landscaping works shall be completed in full accordance with the approved details within three months of the first occupation of the any of the units hereby permitted.

**Reason:** *To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies BE2 and BE20 of the Coventry Development Plan 2001.*

16. Prior to the first occupation of the development, further information shall be submitted to and approved in writing by the Local Planning Authority to confirm that the measures indicated in the 'Energy Strategy, Rev P2, prepared by BWB, 17/06/2017' have been included within the development and provide for a minimum of 10% of the development's energy requirements or full details of alternative measures to meet this target shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** *In the interests of creating a more sustainable city in accordance with Policy OS4 of the Coventry Development Plan 2001 and Supplementary Planning Document 'Delivering a more sustainable city'.*

17. Notwithstanding the details on the drawings hereby approved, at least one electric vehicle charging point shall be provided for each unit hereby approved prior to the first occupation of that unit in accordance with details that shall first be submitted to and approved in writing by the Local Planning Authority. Thereafter, the charging points shall remain available for use at all times.

**Reason:** *In the interests of creating a more sustainable city and improving air quality in accordance with Policies OS4, EM2 and EM5 of the Coventry Development Plan 2001 and the National Planning Policy Framework.*

18. An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site and any report of the findings must be submitted to and approved in writing by the Local Planning Authority prior to first occupation. The report of the findings, to be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11', must include; (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters,

ecological systems, archaeological sites and ancient monument; (iii) an appraisal of remedial options, and proposal of the preferred option(s).

**Reason:** *To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled water, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy EM6 of the Coventry Development Plan 2001.*

19. The development shall be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared which shall be submitted to and approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

**Reason:** *To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled water, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy EM6 of the Coventry Development Plan 2001.*

20. The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** *To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled water, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy EM6 of the Coventry Development Plan 2001.*

21. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 18, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 19, which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must

be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 20.

**Reason:** *To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled water, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy EM6 of the Coventry Development Plan 2001.*

22. Prior to commencement of development, a Japanese Knotweed survey covering the entire site shall be undertaken and submitted to and approved in writing by the Local Planning Authority. If Japanese Knotweed is found then the survey shall include details of measures to control and remove the Japanese Knotweed. The development shall continue only in accordance with the recommendations of the report.

**Reason:** *To prevent the spread of an invasive species and to ensure that risks from land contamination to the future users of the land and neighbouring land are minimised in accordance with Policy EM6 of the Coventry Development Plan 2001.*

23. The development shall proceed only in accordance with the recommendations of section 18 of the Unexploded Ordnance Risk Assessment in Appendix C of 'Desk Study/Phase I Geoenvironmental Risk Assessment, Issue 1, prepared by Applied Geology, 20/02/2017'.

**Reason:** *In the interests of safety for construction workers and neighbours in accordance with Policy EM6 of the Coventry Development Plan 2001.*

24. No storage shall take place in the open on any part of the site.

**Reason:** *In the interests of the visual amenity of the area and the amenities of the occupiers of nearby properties in accordance with Policies EM5 and BE2 of the Coventry Development Plan 2001.*

25. No machinery shall be operated on any open area of the site the subject of this permission.

**Reason:** *In the interests of the visual amenity of the area and the amenities of the occupiers of nearby properties in accordance with Policies EM5 and BE2 of the Coventry Development Plan 2001.*

26. Prior to the first occupation of any unit hereby approved, a car parking management plan to cover how car parking will be managed and controlled across the entire site shall be submitted to and approved in writing by the Local Planning Authority. Once approved, the development shall operate only in accordance with the approved details.

**Reason:** *In the interests of ensuring that each unit has an appropriate level of car parking at all times and to minimise the impact upon the local highway network in*

*accordance with Policy AM22 of the Coventry Development Plan 2001.*

27. The development hereby permitted shall be carried out in accordance with the following approved documents:

(PL)001 Rev A - Site location plan

(PL)002 Rev A - Existing site plan

(PL)003 - Existing floor plan and roof plan

(PL)004 - Existing elevations and sections

(PL)005 Rev G - Proposed site plan

(PL)006 - Proposed floor plans

(PL)007 Rev E - Proposed elevations and street scenes

(PL)008 Rev C - Proposed elevations and street scenes

(PL)009 Rev B - Proposed elevations and street scenes

(PL)010 Rev A - Proposed site sections AA-CC

(PL)011 - Proposed roof plan

(SK)011 - Existing boundary treatment

(SK)012 - Proposed boundary treatment

TNA\_465\_01 Rev A - Soft landscape proposals

2049cv-01 Rev C - Topographical survey sheet 1 of 2

2049cv-02 Rev C - Topographical survey sheet 2 of 2

2049cv-08 Rev A - Measured building survey

2049cv-09 Rev A - Measured building survey

Planning, Design & Access Statement, prepared by Nicol Thomas, January 2017

Transport Statement, Version A, prepared by Phil Jones Associates, 21/02/2017

Framework Travel Plan, Version A, prepared by Phil Jones Associates, 21/02/2017

Desk Study/Phase I Geoenvironmental Risk Assessment, Issue 1, prepared by Applied Geology, 20/02/2017

Noise Impact Assessment, Rev P1, prepared by BWB, 15/05/2017

Service Yard Noise Assessment Letter, prepared by BWB, 13/06/2017

Air Quality Assessment, Rev 1, prepared by BWB, 11/05/2017

Energy Strategy, Rev P2, prepared by BWB, 17/06/2017

Specification for soft landscape proposals, TNA/465A, prepared by Taylor Nightingale and Associates, January 2017

Flood Risk Assessment, Rev 1, prepared by MBCE Projects Ltd, 24/02/2017

Phase 1 Bat and Nesting Bird Survey, prepared by Ridgeway Ecology Ltd, 08/02/2017

Response to Police comments, 12/05/2017

Response to Drainage comments, 08/05/2017.

**Reason:** *For the avoidance of doubt and in the interests of proper planning.*

[Site Location Plan](#)

[Existing Site Plan](#)

[Proposed Site Plan](#)

[Proposed Floor Plan](#)

[Proposed Elevations 007E](#)

[Proposed Elevations 008C](#)  
[Proposed Elevations 009B](#)  
[Proposed Sections](#)  
[Proposed Boundary Treatments](#)  
[Landscape Proposals](#)  
[Proposed Roof Plan](#)  
[Existing Boundary Treatment](#)



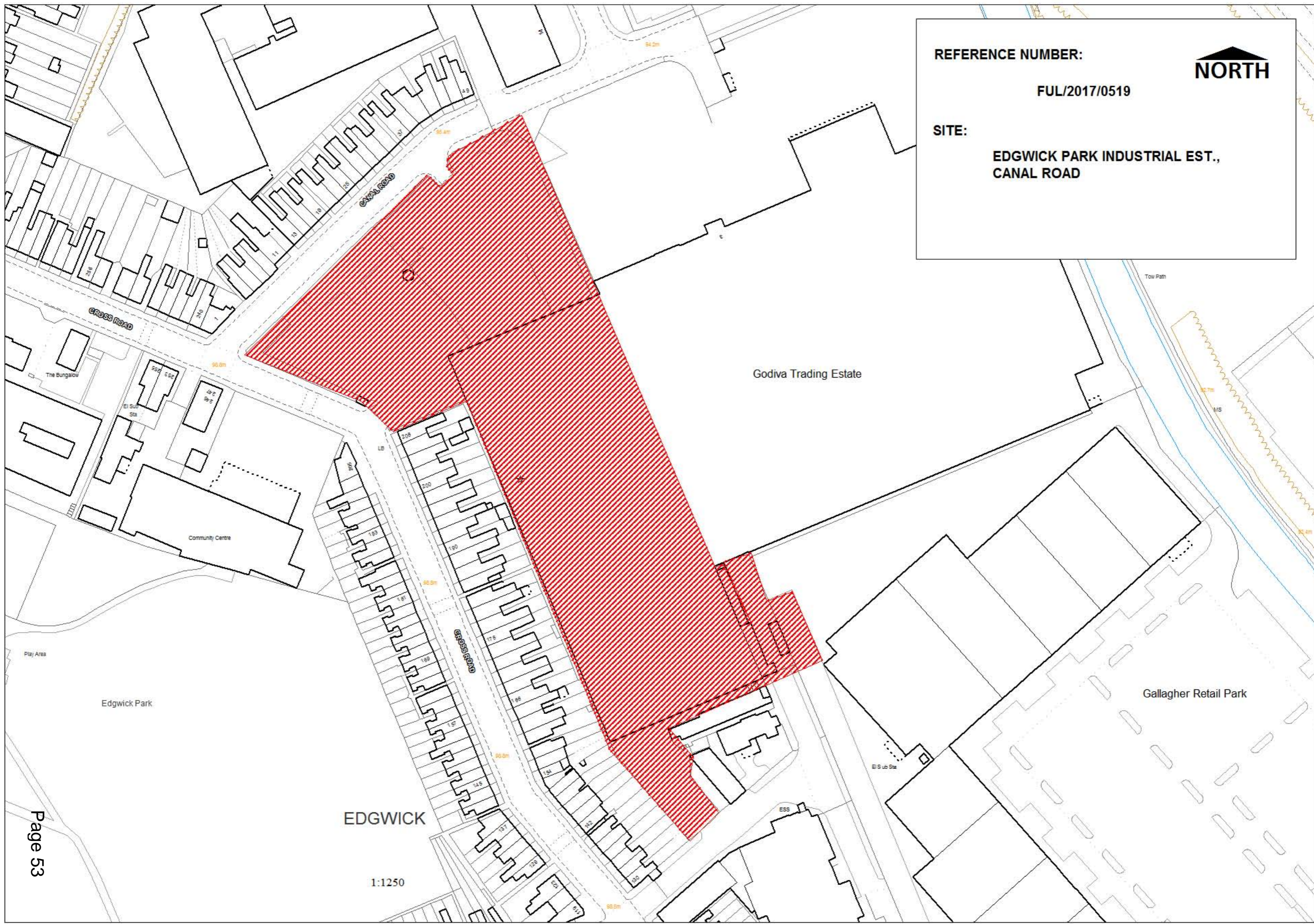
REFERENCE NUMBER:



FUL/2017/0519

SITE:

EDGWICK PARK INDUSTRIAL EST.,  
CANAL ROAD



Godiva Trading Estate

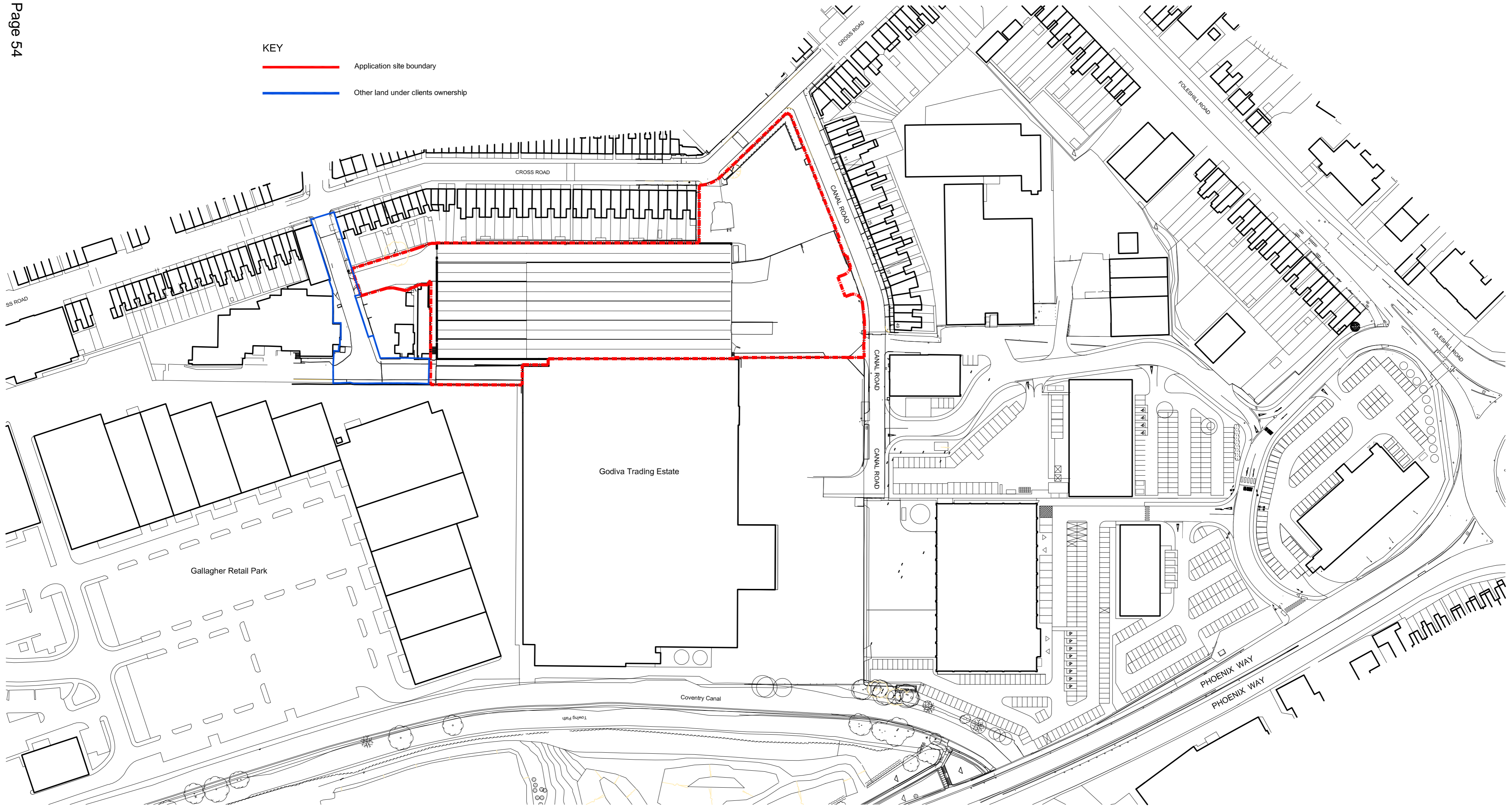
Gallagher Retail Park

EDGWICK

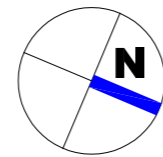
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**KEY**  
— Application site boundary  
— Other land under clients ownership



SCALE 1 : 1250  
 SCALE 1 : 1



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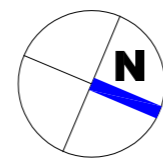
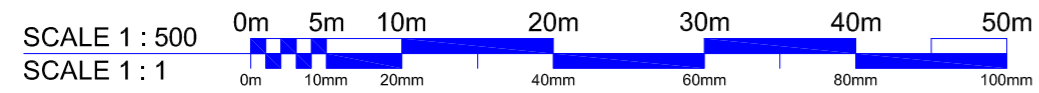
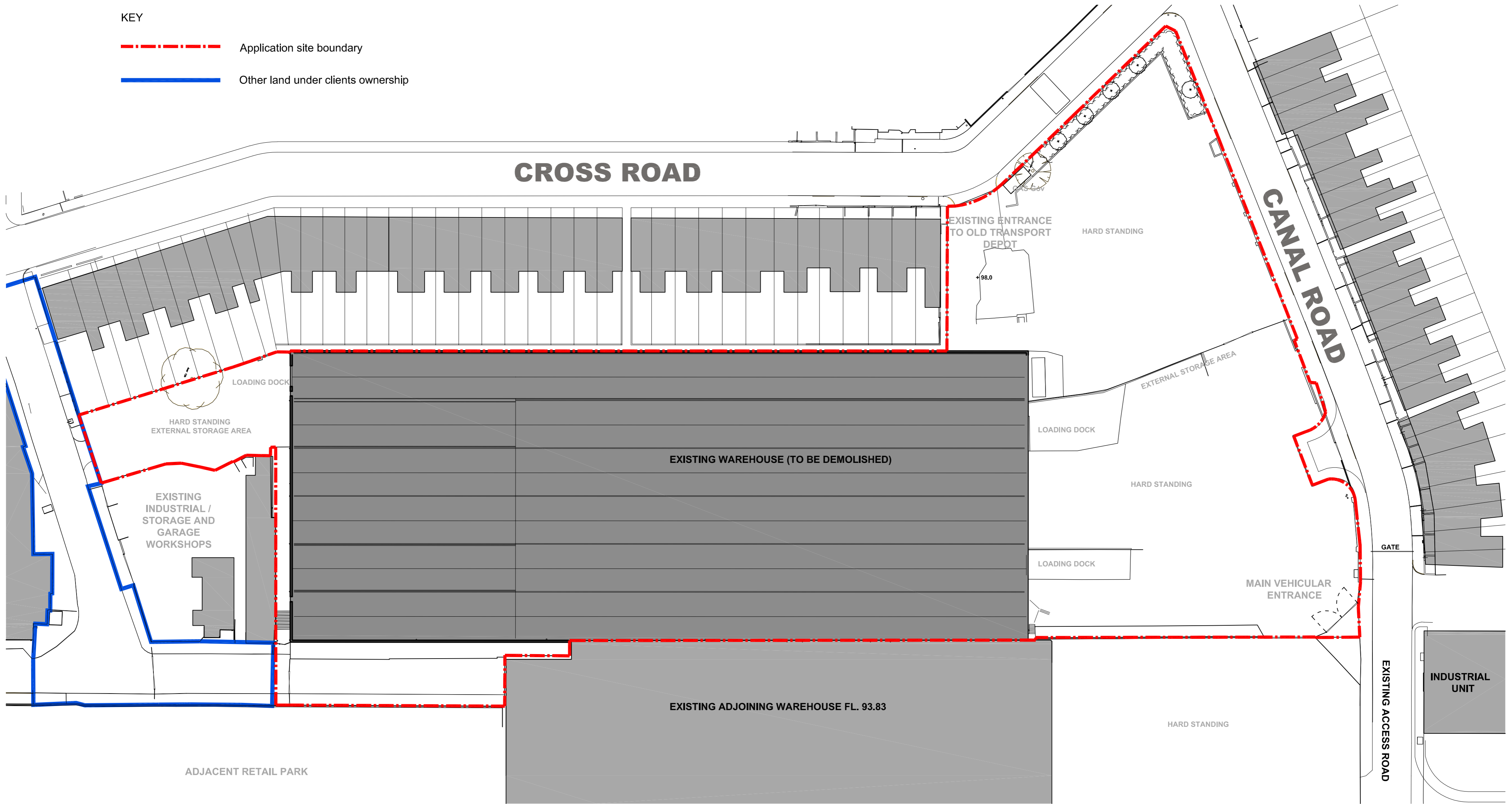
Revision	Date	Details

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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwick Park, Coventry		
<b>Drawing title:</b>	Site Location Plan		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>001</b>
<b>Scale:</b>	1:1250 @A2		
<b>Date:</b>	February 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		
<b>Revision:</b>	<b>A</b>		

**KEY**

- - - - - Application site boundary
- \_ \_ \_ \_ \_ Other land under clients ownership



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Page 55

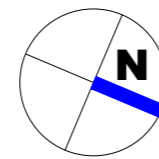
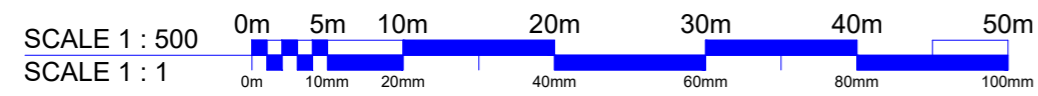
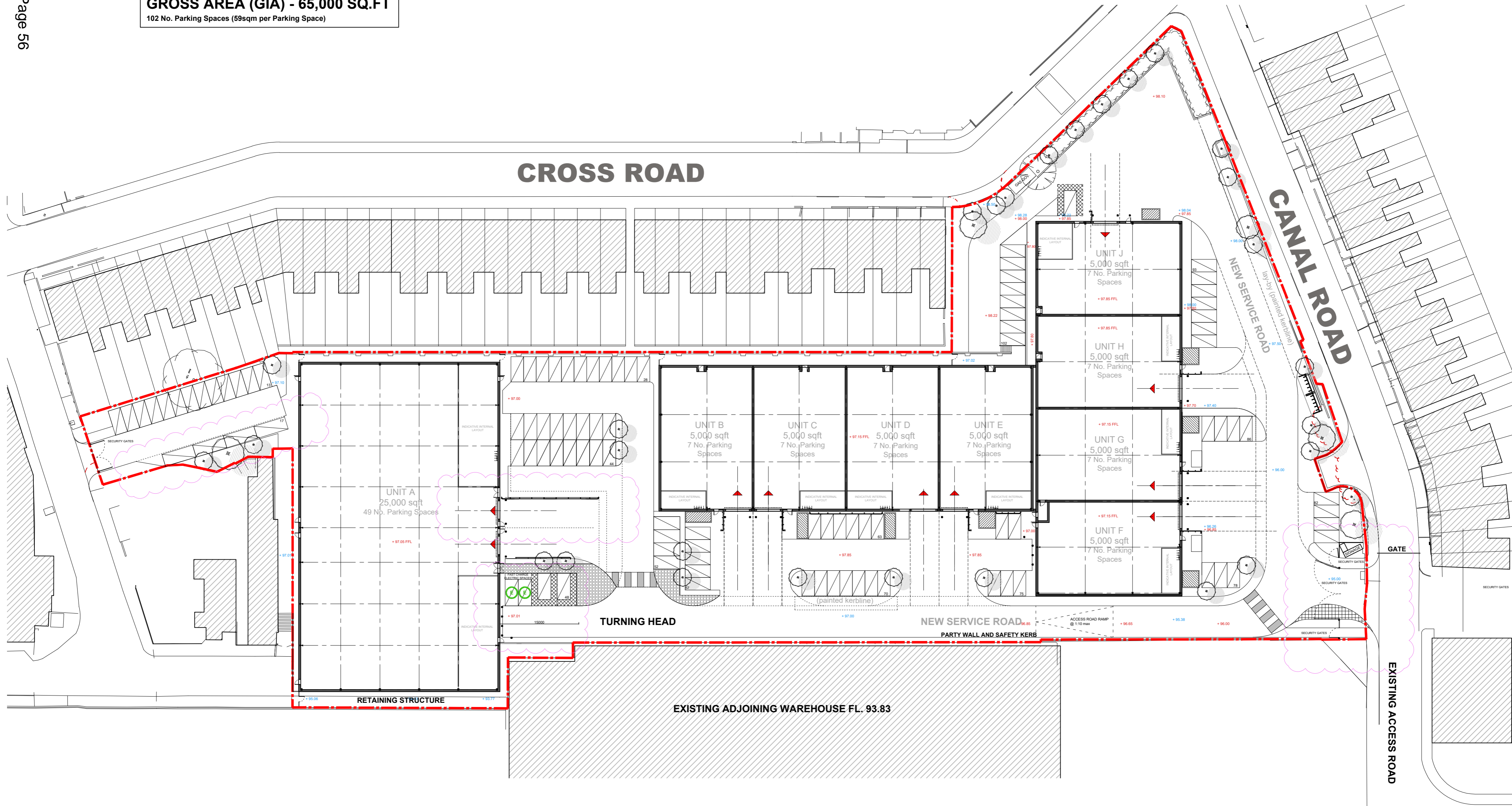
Revision	Date	Details

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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwick Park, Coventry		
<b>Drawing title:</b>	Existing Site Plan		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>002</b>
<b>Scale:</b>	1:500 @A2		
<b>Date:</b>	February 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		
<b>Revision:</b>	<b>A</b>		



**GROSS AREA (GIA) - 65,000 SQ.FT**  
 102 No. Parking Spaces (59sqm per Parking Space)



KEY  
 EXISTING LEVELS (BLUE)  
 PROPOSED LEVELS (RED)

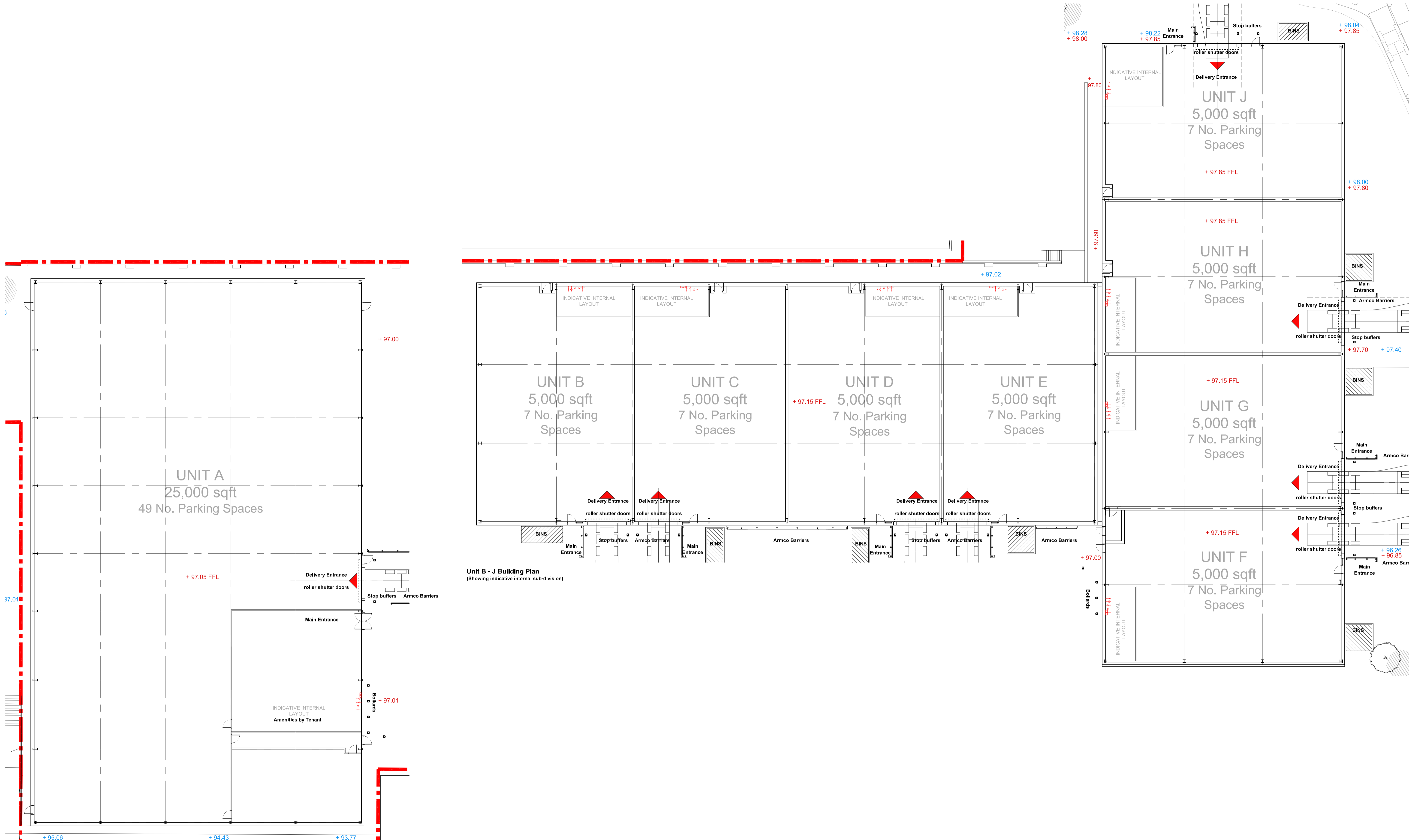
**nicol thomas**

Revision	Date	Details

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Client:		Wigley Contracts (Barby) Ltd		
Job:		Topshop Edgwick Park, Coventry		
Drawing title: Proposed Site Plan				
Drawing Number: (Job number)	B6349	(PL)	005	Revision: G
Scale:		1:500 @A2		
Date:		November 2016		
Drawn by/ checked by:		JMD/WG		

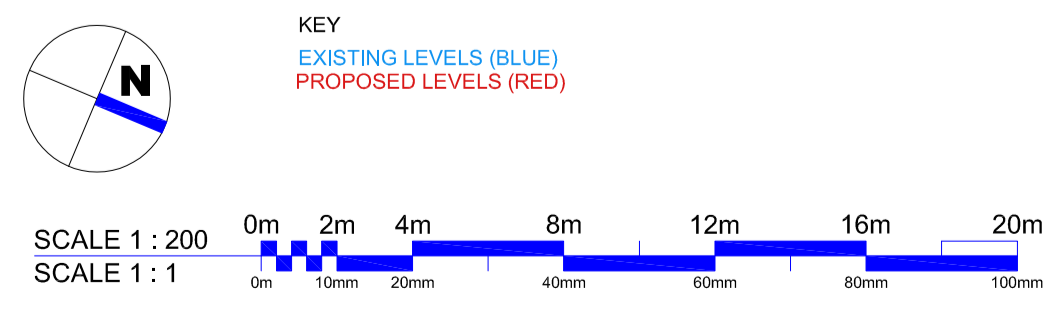


**Unit A Building Plan**  
(Showing indicative internal sub-division)

**Unit B - J Building Plan**  
(Showing indicative internal sub-division)

Revision	Date	Details

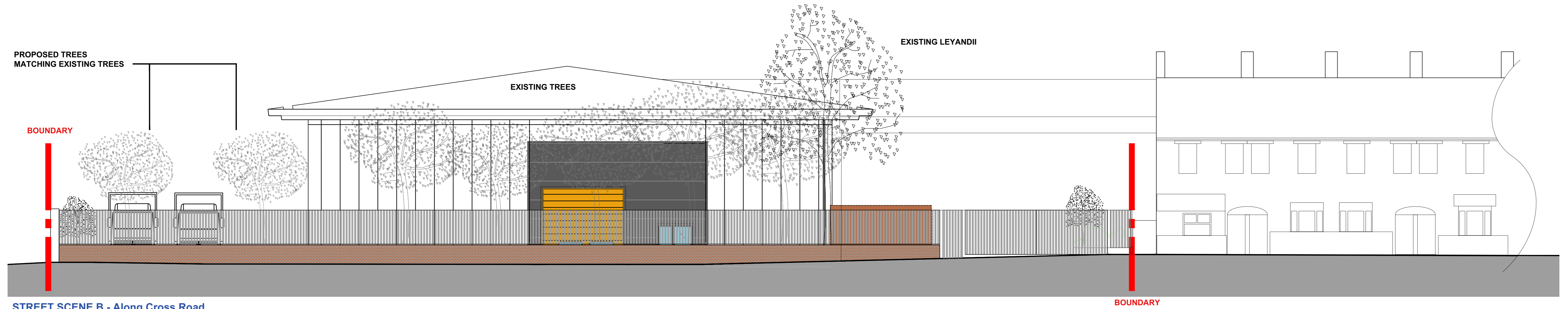
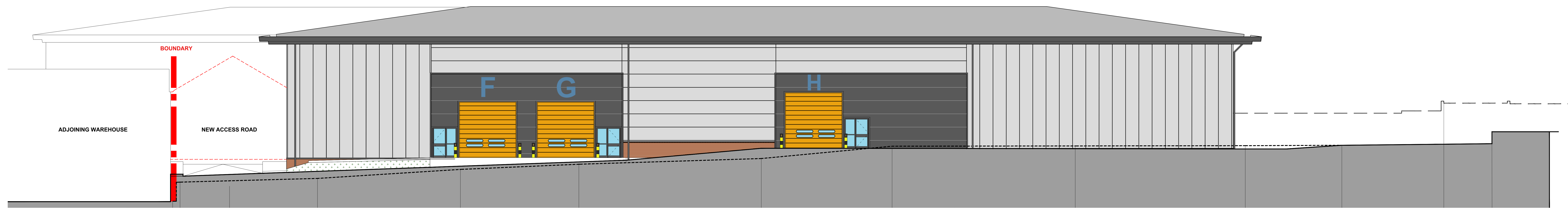
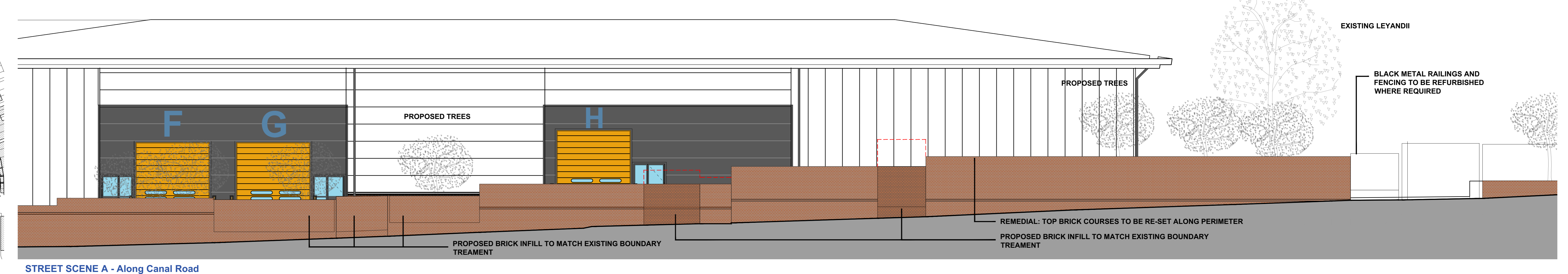
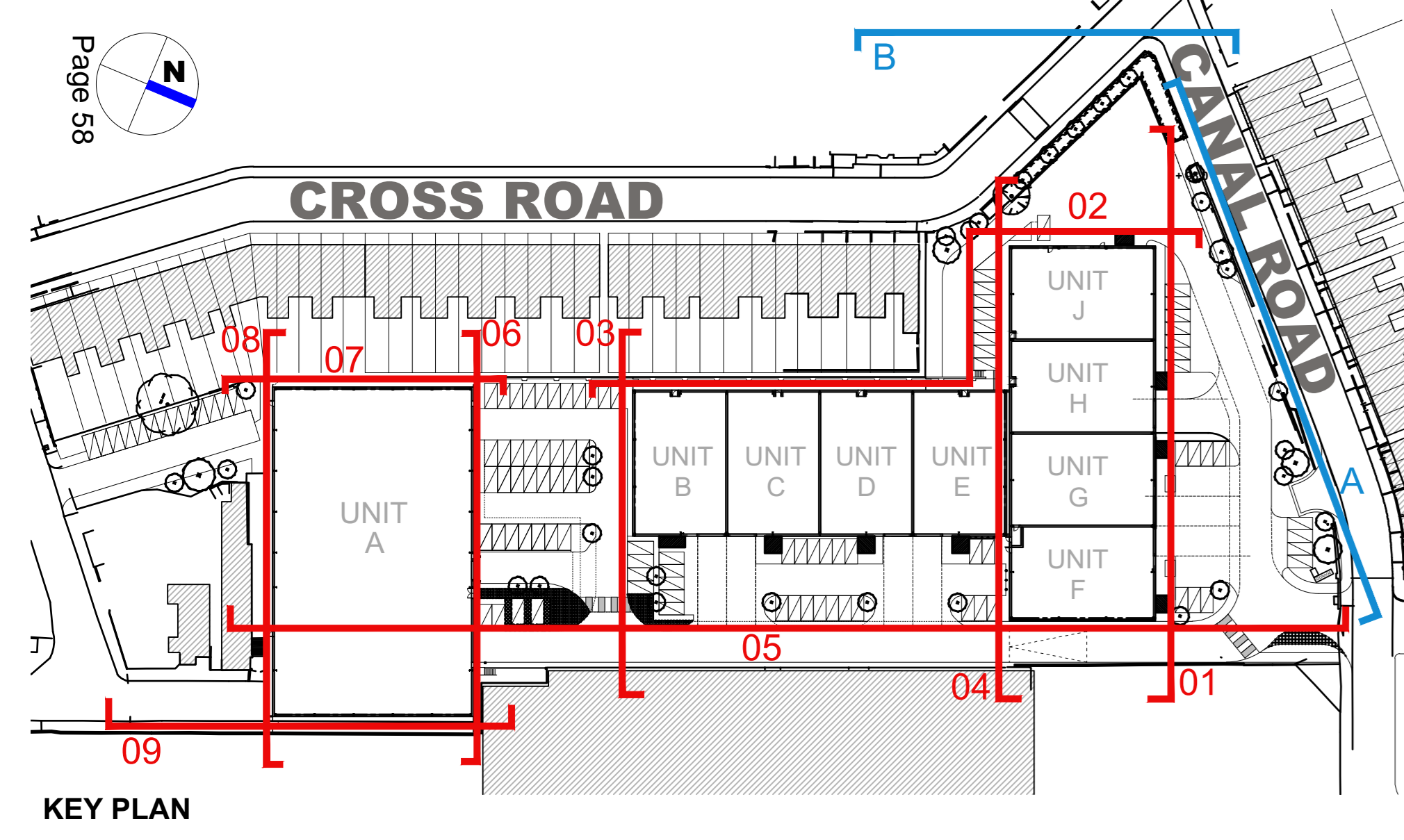
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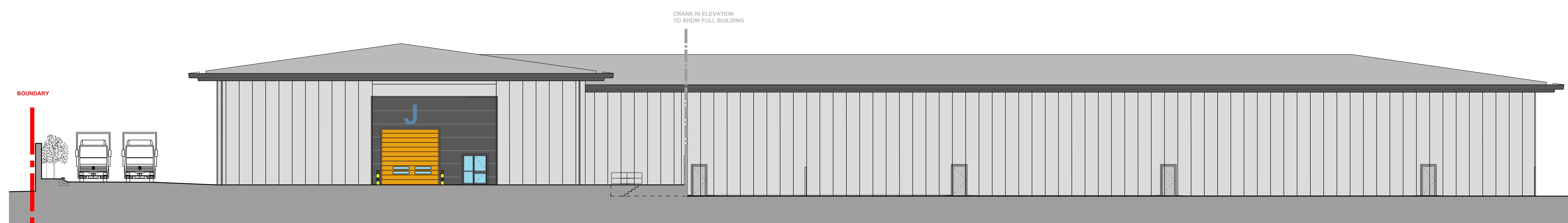
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<b>Job:</b>	Topshop Edgwick Park, Coventry		
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<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>006</b>
<b>Scale:</b>	1:200@A1		
<b>Date:</b>	February 2017		
<b>Drawn by / checked by:</b>	JMD/WG		





**SCHEDULE OF MATERIALS**

External cladding	- Coverworld wall cladding: PVDF Alaska Grey CW24 Trapezoidal profiled sheeting
Feature Entrance	- Recessed Profiled Wall Cladding: Slate Grey Euro Clad 50/1000 Half Round
Roof	- Roof cladding panels: Goosewing Grey
	- with "Man Safe" fall arrest system
Roof Lights	- Proprietary Triple skin polycarbonate roof lights nom' 10% roof area.
Brickwork Plinth	- Staffordshire Blue Facing brick plinth
Brickwork	- Red multi brindle brick for main body external masonry
Staff doors	- Steel door and frame (TaskMaster Door or similar): Dusty Grey RAL 7037
Public doors	- Aluminium doorset (Kawneer or similar): Dark Grey RAL 7022
Windows	- Aluminium section (Kawneer or similar): Dark Grey RAL 7022
Cills and flashings	- Aluminium PPC finish: to match Dark Grey
Rainwater Pipes	- Square Profile Dark Grey RAL 7022
Eaves	- Square Profile Dark Grey RAL 7022
Sectional Overhead doors	- Security rated Burnt Orange RAL060 50 70 with vision panels



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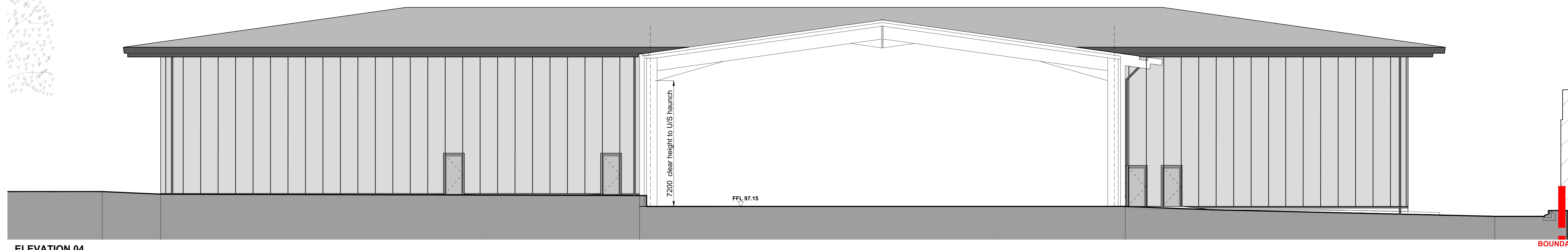
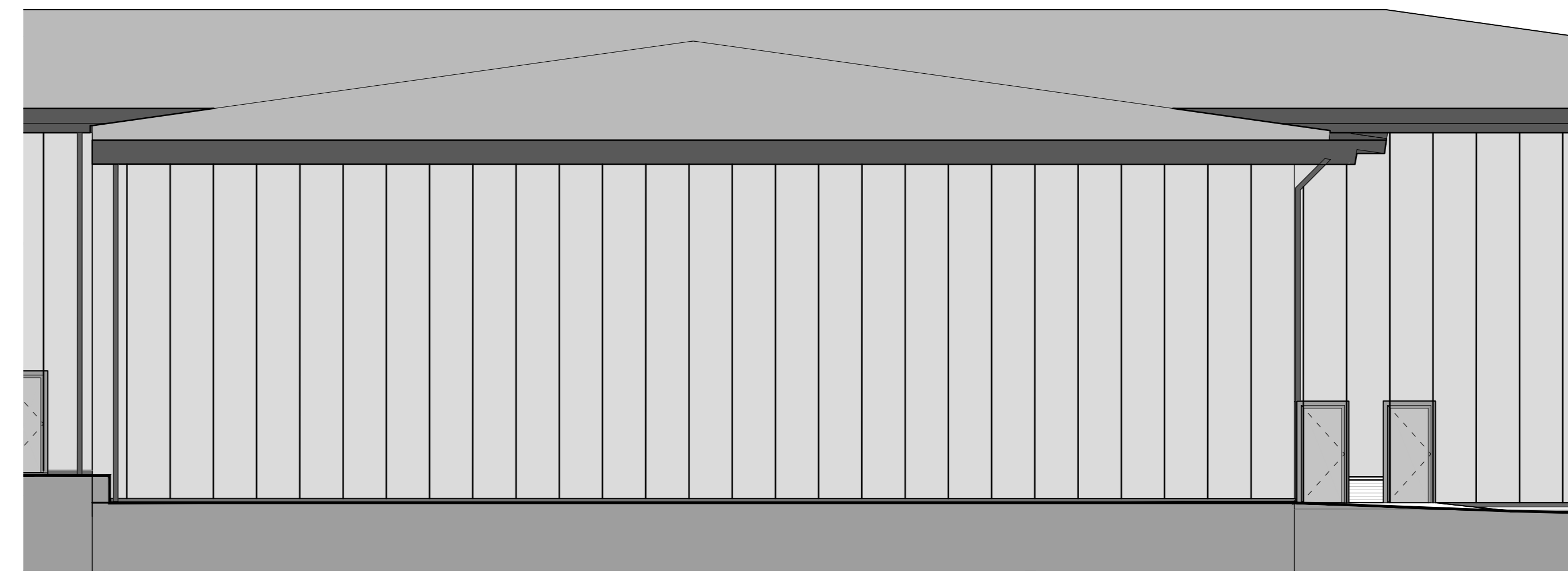
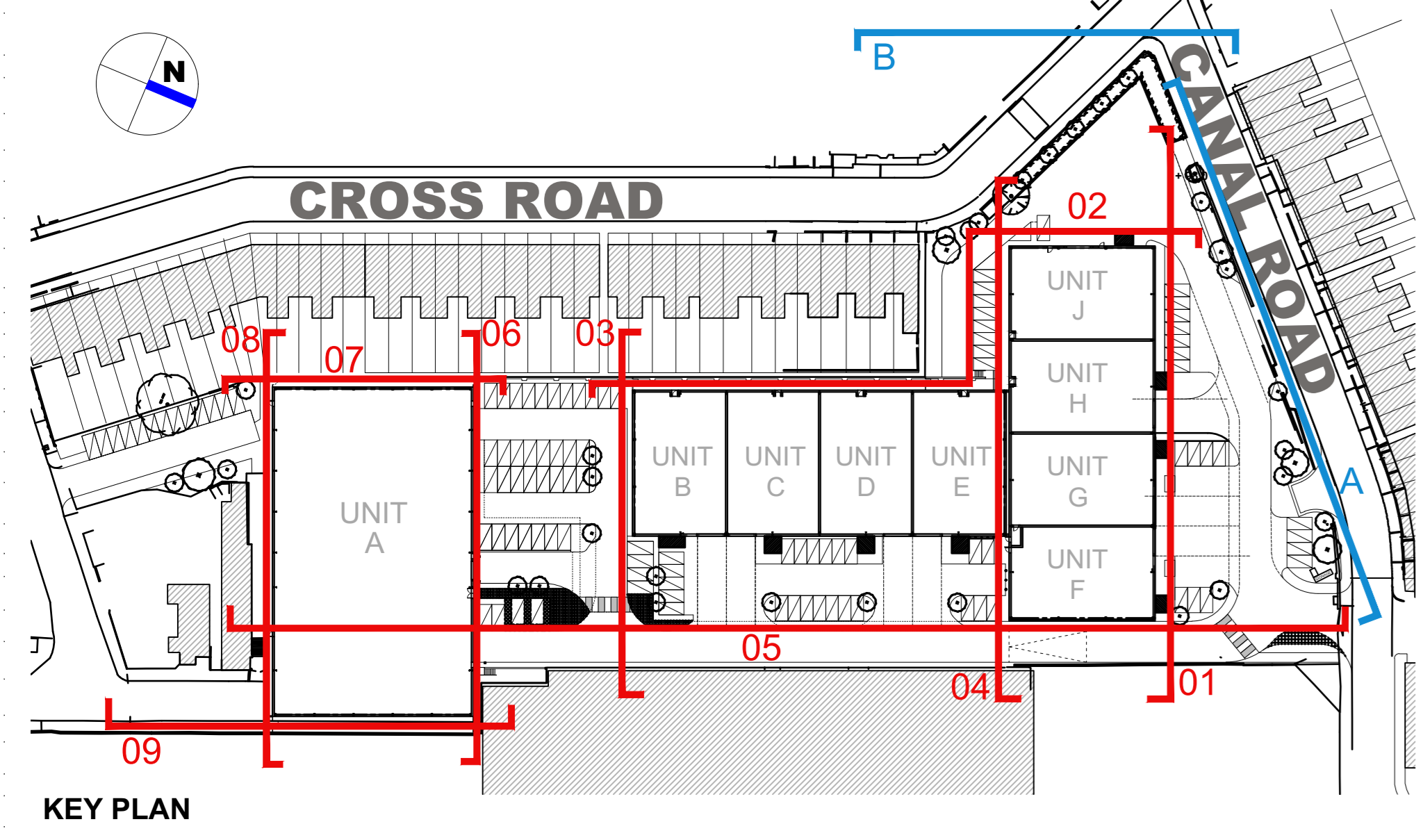
Revision	Date	Details
B	15.03.17	Sub-heading for 'Elevation 03' amended to 'Elevation 02'
C	18.05.17	Changes to wall cladding, extent, profile and colour

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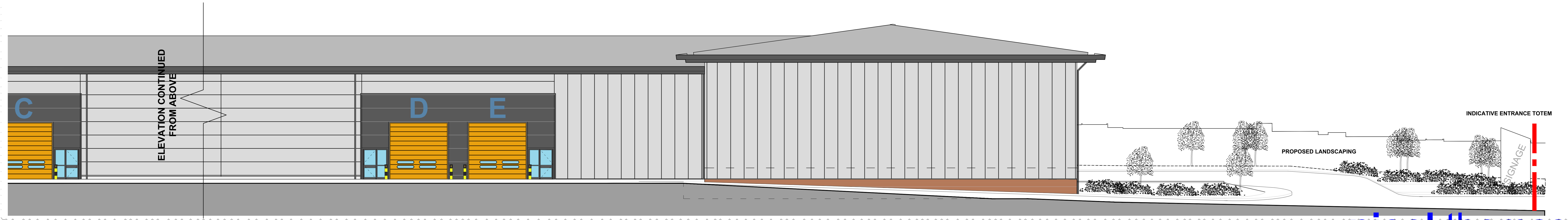
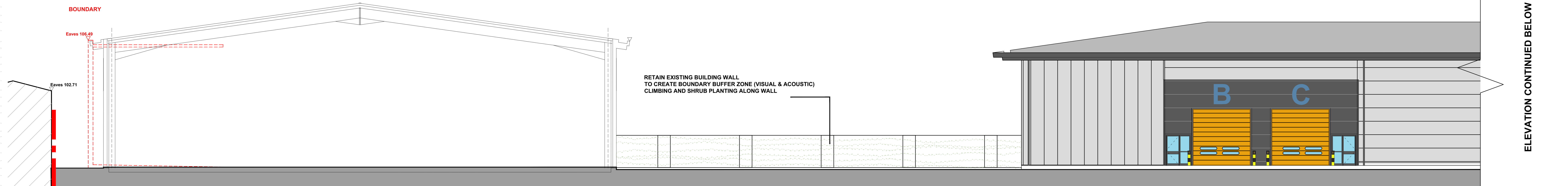
<b>Client:</b>	Wigley Contracts (Barby) Ltd			
<b>Job:</b>	Topshop Edgwick Park, Coventry			
<b>Drawing title:</b>	Proposed Elevations and Street Scenes			
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>007</b>	<b>Revision:</b> <b>E</b>
<b>Scale:</b>	1:200 @ AO			
<b>Date:</b>	February 2017			
<b>Drawn by/ checked by:</b>	JMD/WG			





**SCHEDULE OF MATERIALS**

External cladding	- Coverworld wall cladding: PVDF Alaska Grey CW24 Trapezoidal profiled sheeting
Feature Entrance	- Recessed Profiled Wall Cladding: Slate Grey Euro Clad 50/1000 Half Round
Roof	- Roof cladding panels: Goosewing Grey
	- with "Man Safe" fall arrest system
Roof Lights	- Proprietary Triple skin polycarbonate roof lights norm 10% roof area.
Brickwork Plinth	- Staffordshire Blue Facing brick plinth
Brickwork	- Red multi brindle brick for main body external masonry
Staff doors	- Steel door and frame (TaskMaster Door or similar): Dusty Grey RAL 7037
Public doors	- Aluminium doorset (Kawneer or similar): Dark Grey RAL 7022
Windows	- Aluminium section (Kawneer or similar): Dark Grey RAL 7022
Clills and flashings	- Aluminium PPC finish: to match Dark Grey
Rainwater Pipes Eaves	- Square Profile Dark Grey RAL 7022
Sectional Overhead doors	- Security rated Burnt Orange RAL060 50 70 with vision panels



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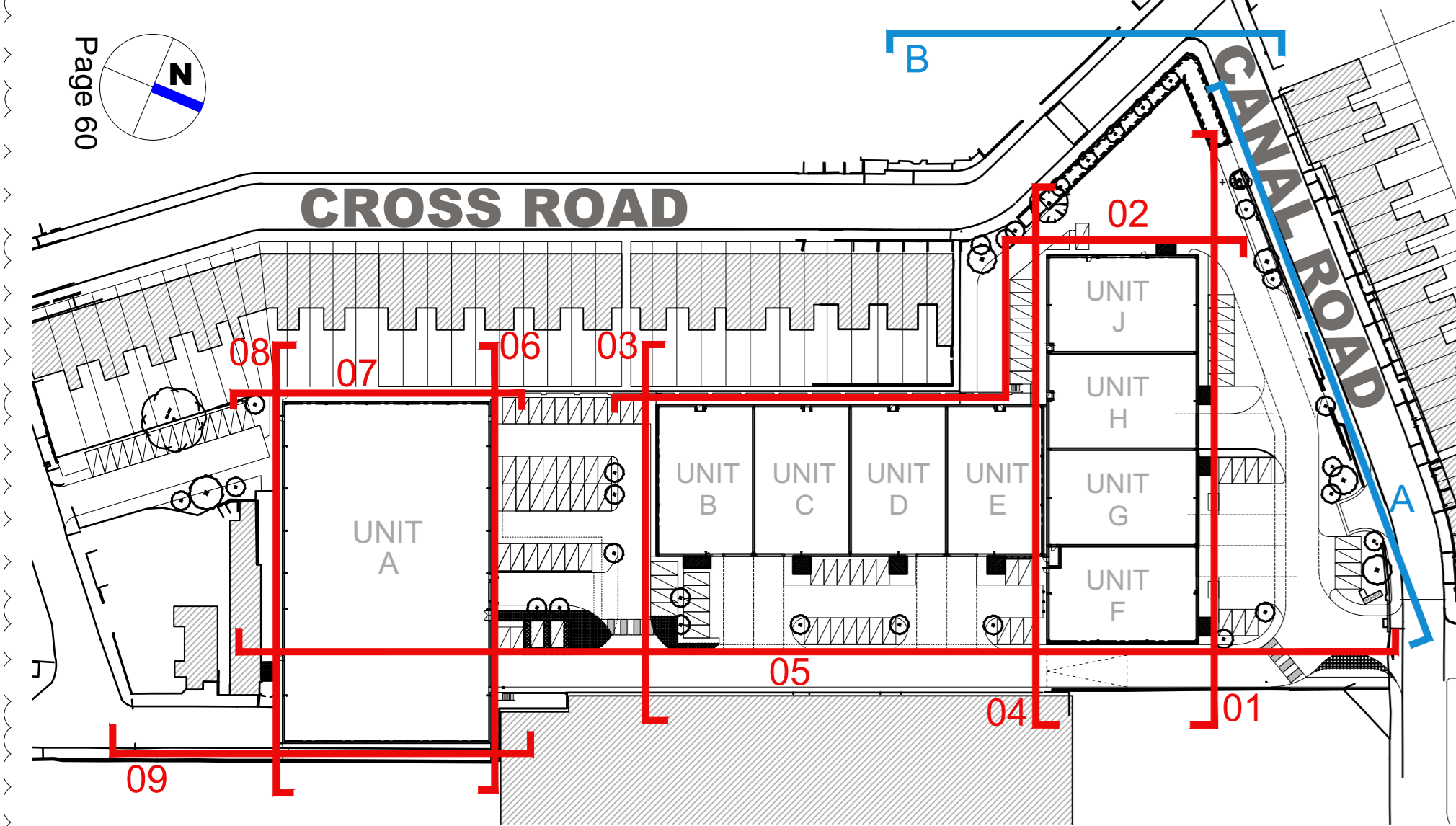
Revision	Date	Details
B	15.03.17	Included coloured inward facing part elevation
C	18.05.17	Changes to wall cladding, extent, profile and colour

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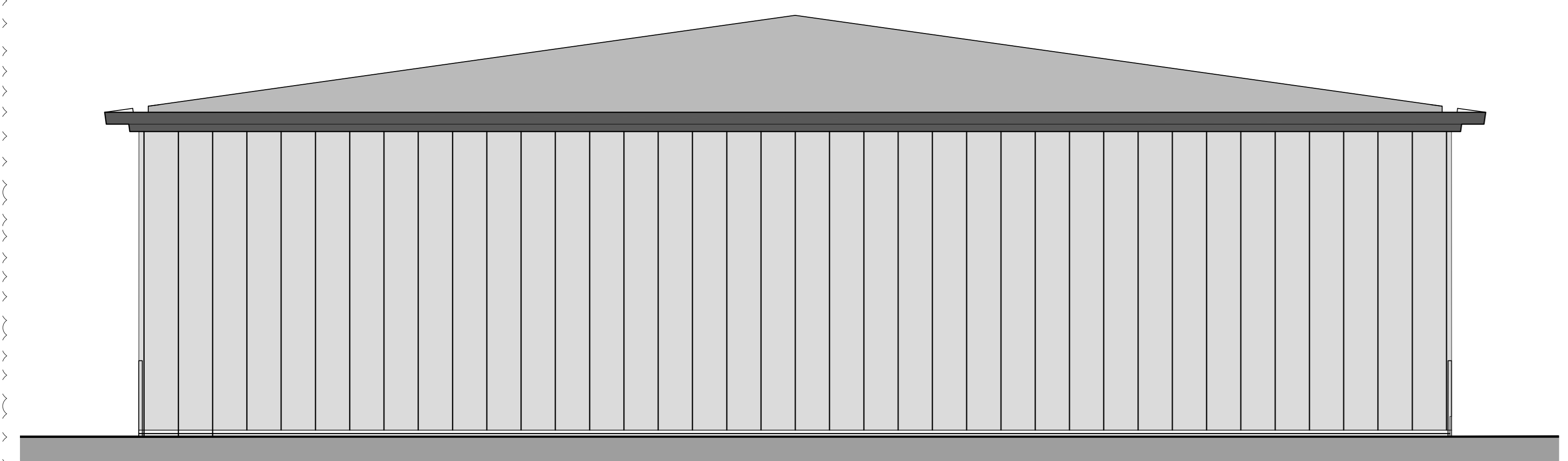
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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwick Park, Coventry		
<b>Drawing title:</b>	Proposed Elevations and Street Scenes		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>008</b>
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<b>Date:</b>	February 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		





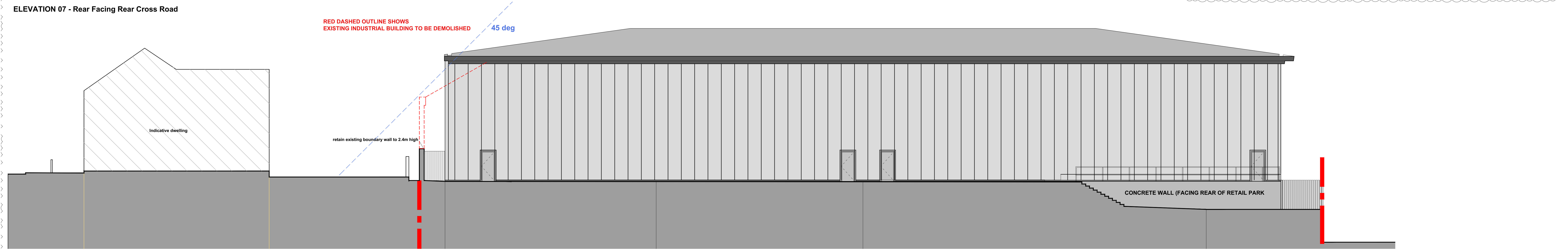
ELEVATION 06 - Facing toward main entrance



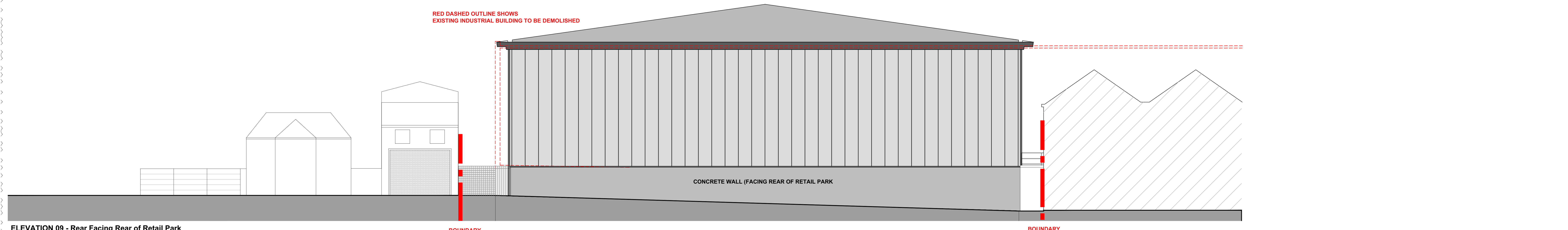
ELEVATION 07 - Rear Facing Rear Cross Road

**SCHEDULE OF MATERIALS**

External cladding	- Coverwork wall cladding: PVDF Alaska Grey CW24 Trapezoidal profiled sheeting
Feature Entrance	- Recessed Profiled Wall Cladding: Slate Grey Euro Clad 50/1000 Half Round
Roof	- Roof cladding panels: Goosewing Grey  - with "Man Safe" fall arrest system
Roof Lights	- Proprietary Triple skin polycarbonate roof lights nom' 10% roof area.
Brickwork Plinth	- Staffordshire Blue Facing brick plinth
Brickwork	- Red multi brindle brick for main body external masonry
Staff doors	- Steel door and frame (TaskMaster Door or similar): Dusty Grey RAL 7037
Public doors	- Aluminium doorset (Kawneer or similar): Dark Grey RAL 7022
Windows	- Aluminium section (Kawneer or similar): Dark Grey RAL 7022
Clits and flashings	- Aluminium PPC finish: to match Dark Grey
Rainwater Pipes Eaves	- Square Profile Dark Grey RAL 7022
Sectional Overhead doors	- Security rated Burnt Orange RAL060 50 70 with vision panels



ELEVATION 08 - Facing Toward Secondary Entrance



ELEVATION 09 - Rear Facing Rear of Retail Park

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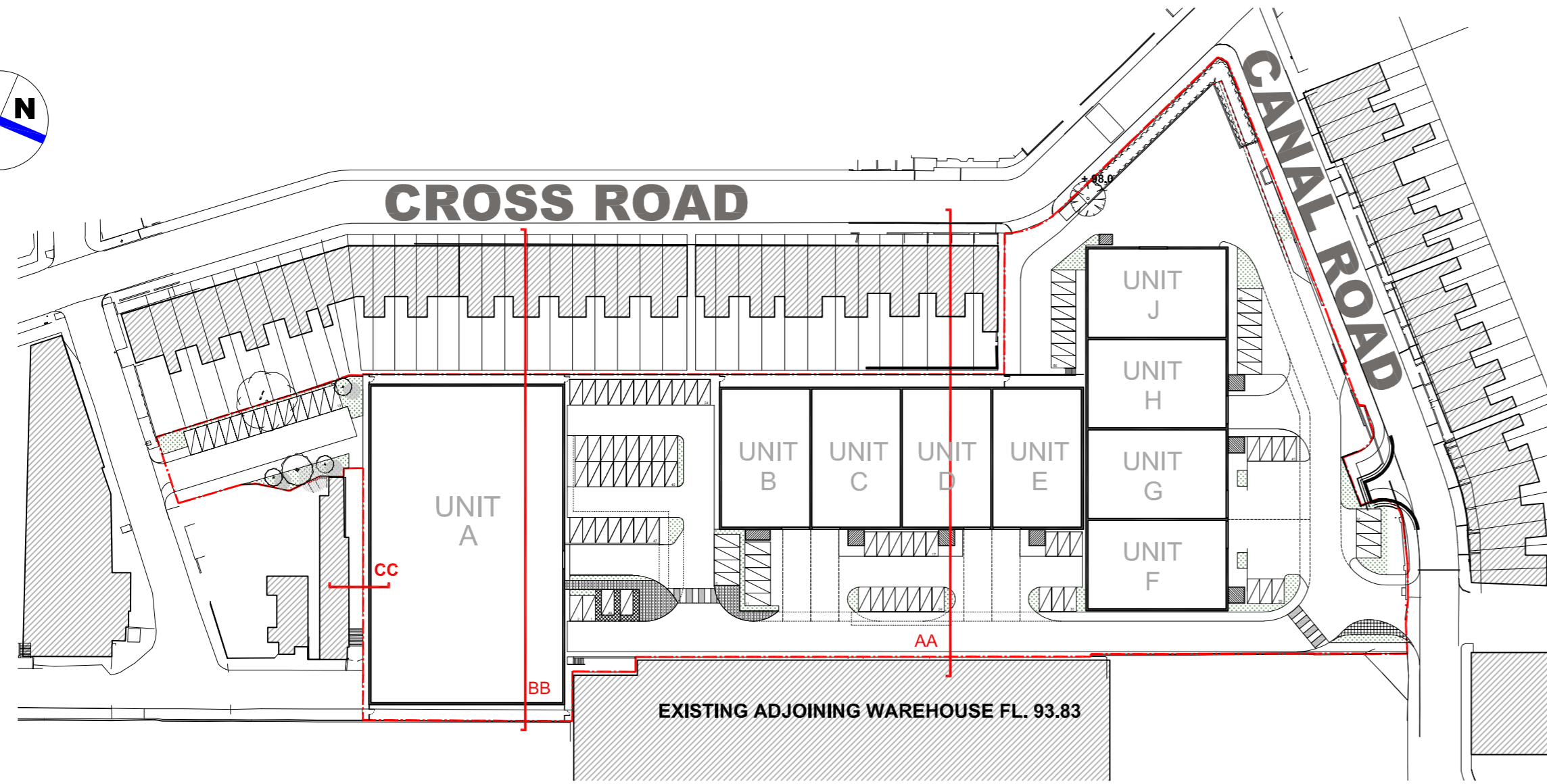
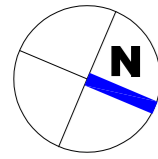
Revision	Date	Details
B	18.05.17	Changes to wall cladding, extent, profile and colour

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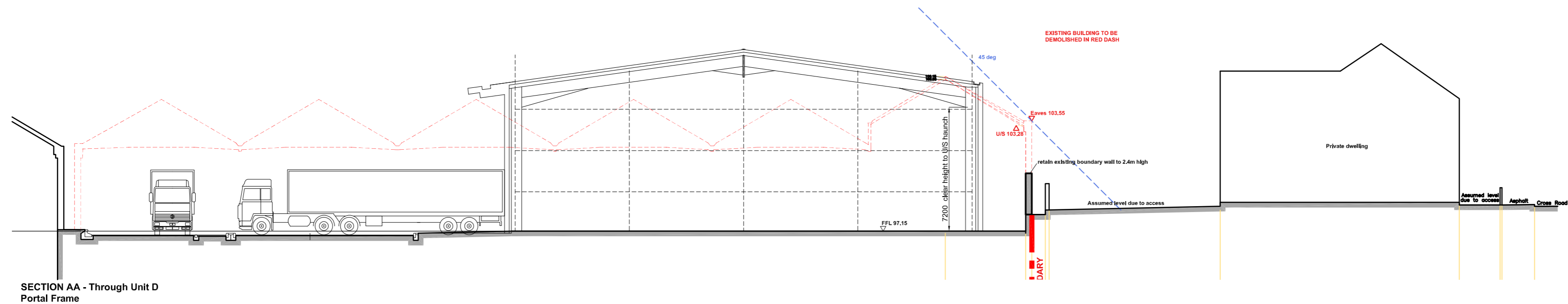
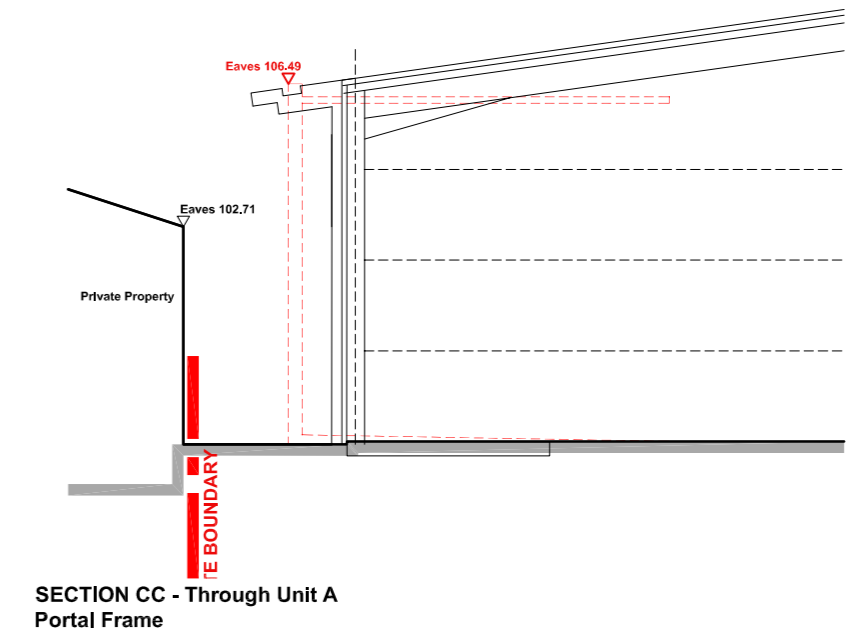
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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwick Park, Coventry		
<b>Drawing title:</b>	Proposed Elevations and Street Scenes		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>009</b>
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<b>Date:</b>	February 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		

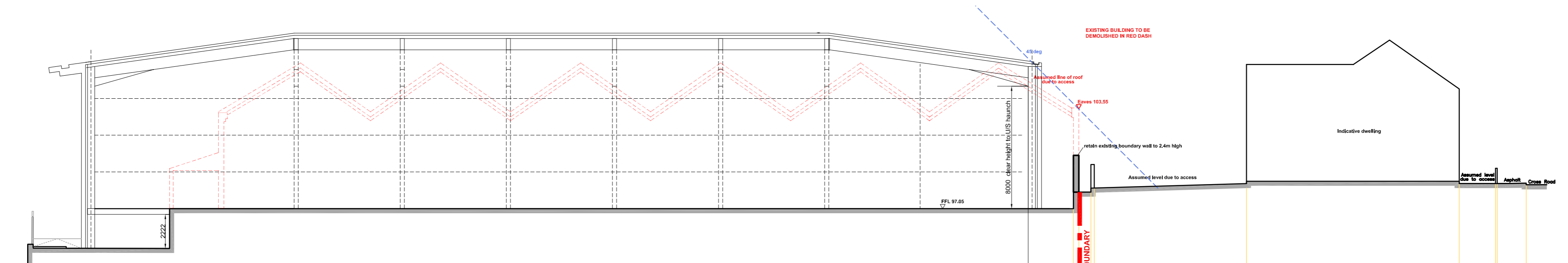




KEY PLAN



SECTION AA - Through Unit D Portal Frame



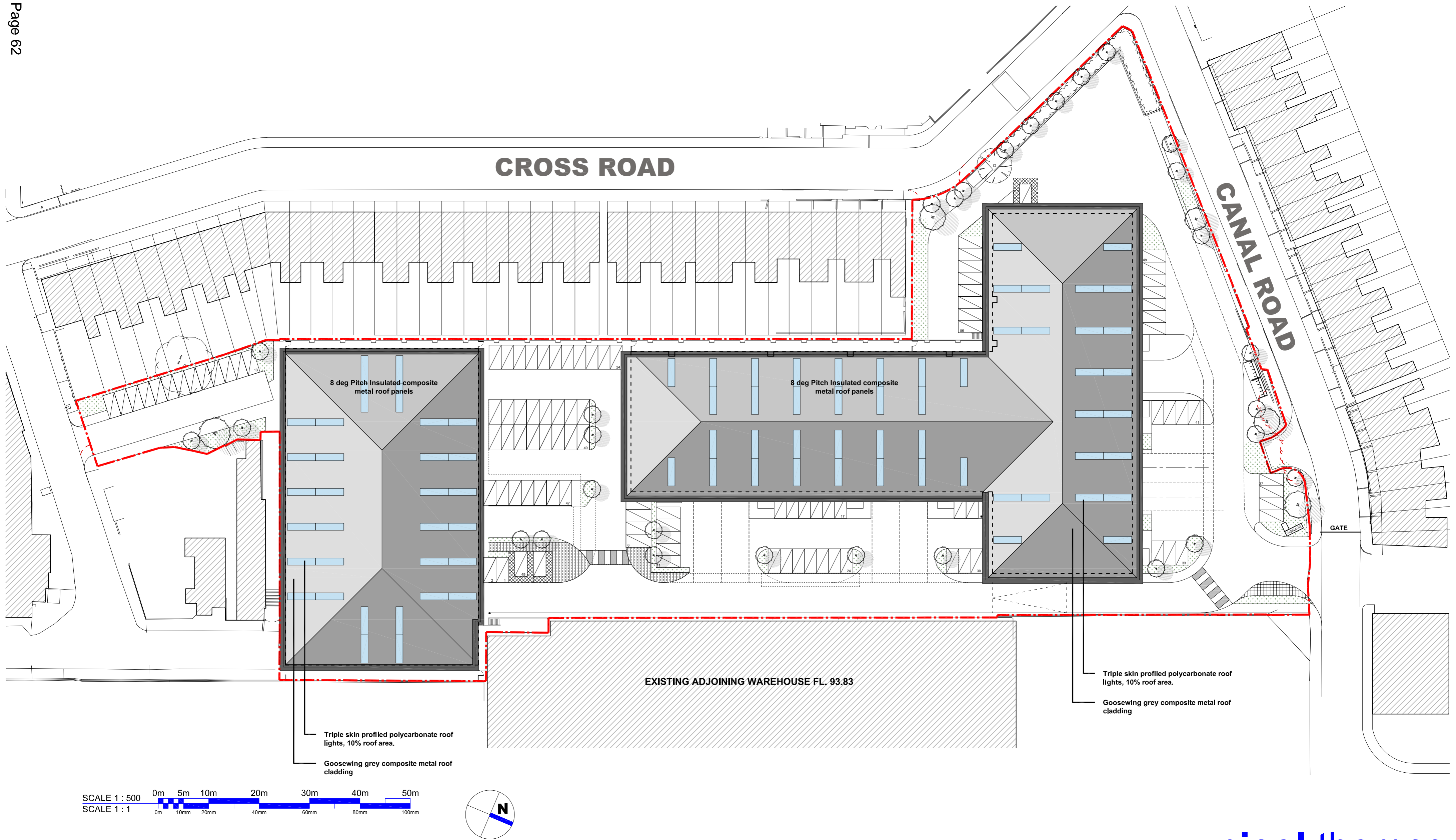
SECTION BB - Through Unit A Portal Frame

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Revision	Date	Details

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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwick Park		
<b>Drawing title:</b>	Proposed Site Sections AA - CC		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>010</b>
<b>Scale:</b>	1:200 @A2		
<b>Date:</b>	January 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		
<b>Revision:</b>	<b>A</b>		



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Revision	Date	Details

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<b>Client:</b>	Wigley Contracts (Barby) Ltd		
<b>Job:</b>	Topshop Edgwlck Park, Coventry		
<b>Drawing title:</b>	Proposed Roof Plan		
<b>Drawing Number:</b> (Job number)	<b>B6349</b>	<b>(PL)</b>	<b>011</b>
<b>Scale:</b>	1:500 @A2		
<b>Date:</b>	February 2017		
<b>Drawn by/ checked by:</b>	JMD/WG		



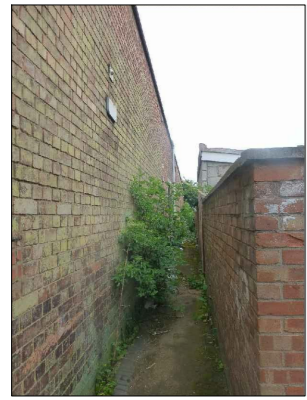
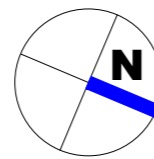
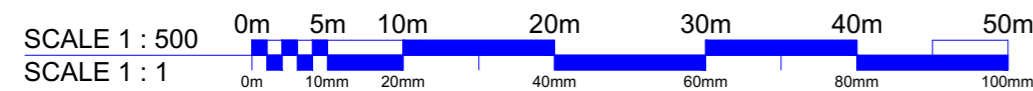
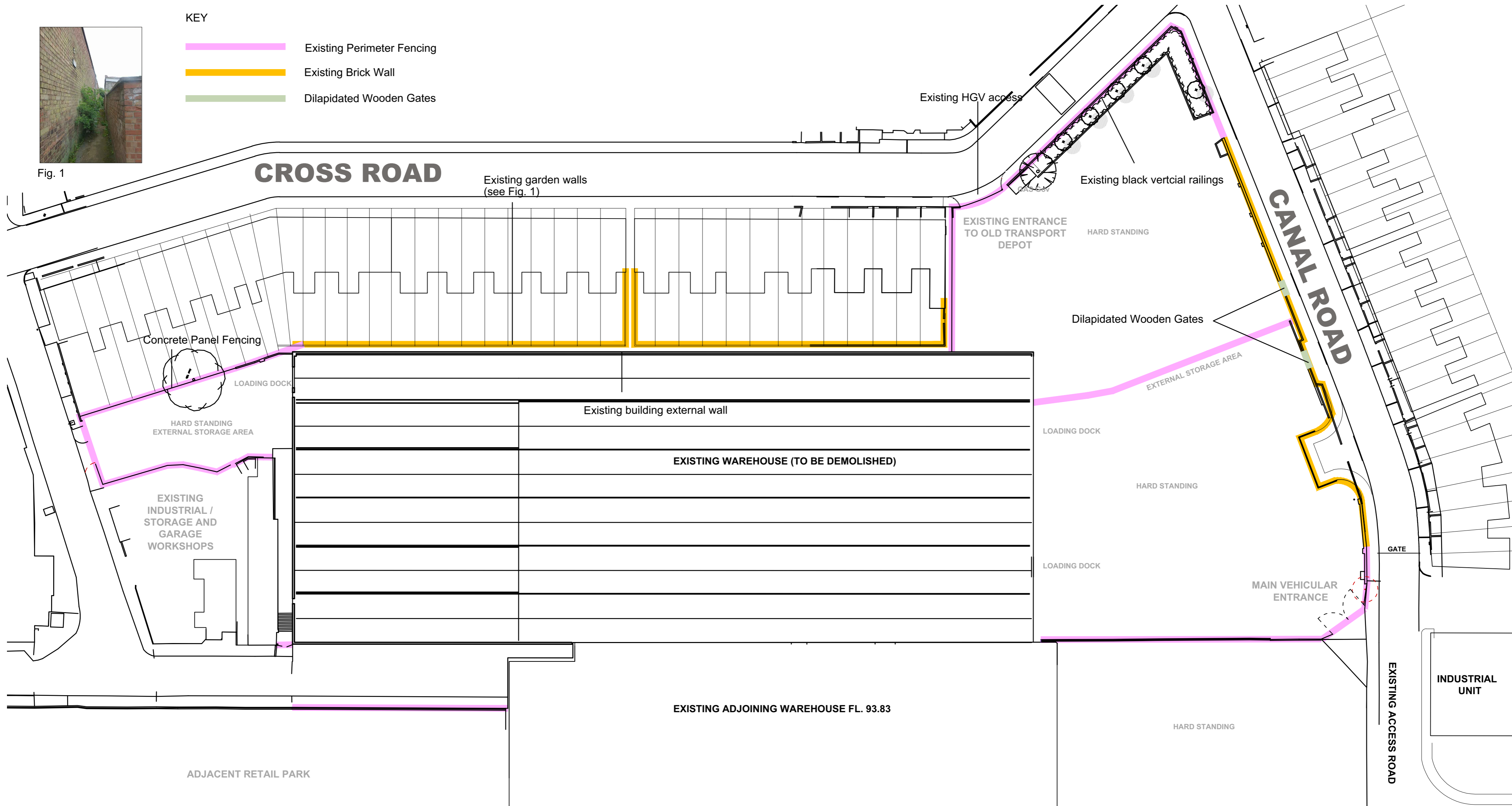


Fig. 1

KEY

- Existing Perimeter Fencing
- Existing Brick Wall
- Dilapidated Wooden Gates



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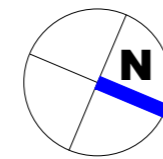
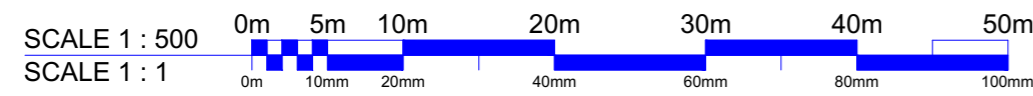
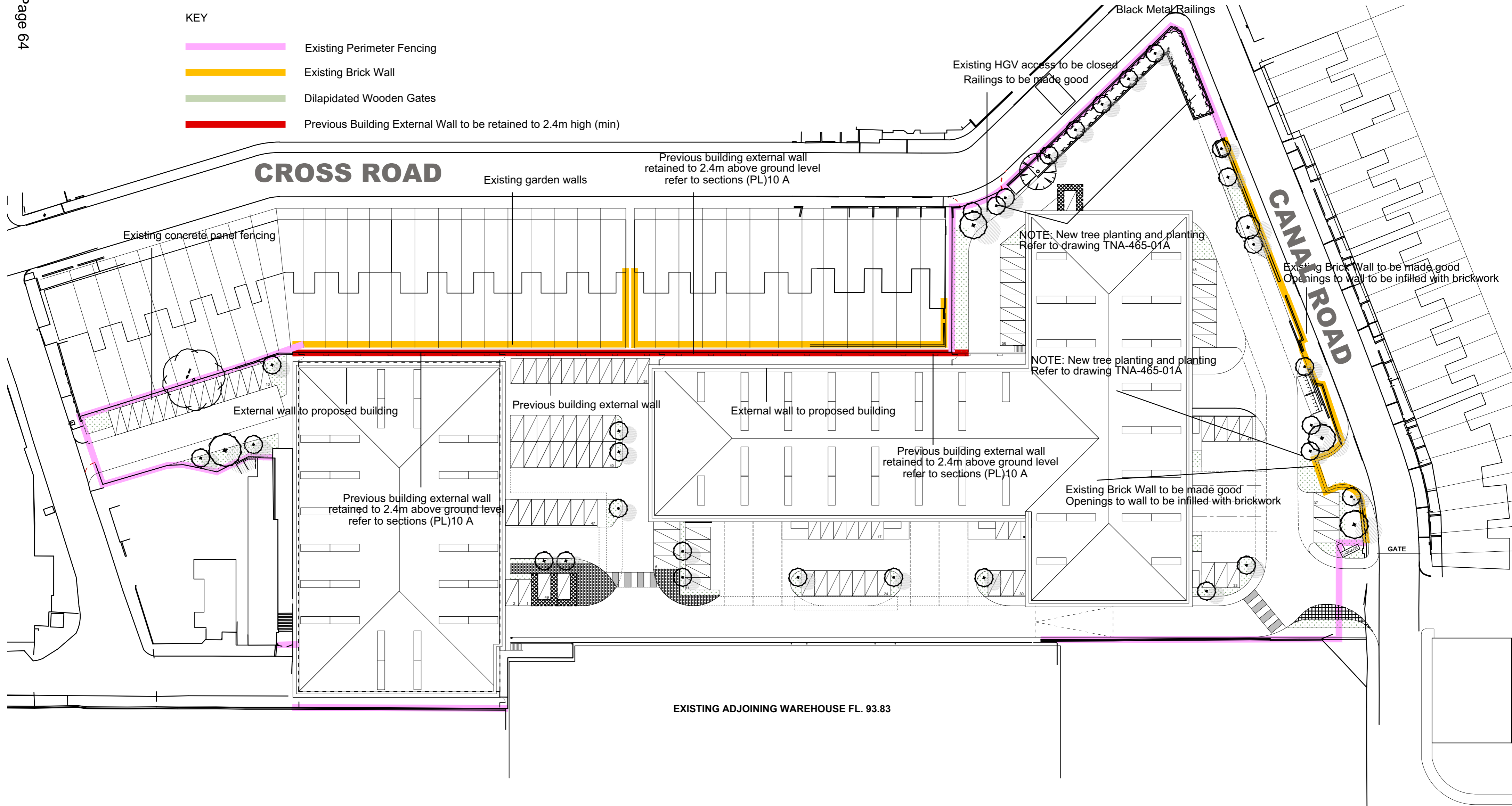
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Client:		Wigley Contracts (Barby) Ltd		
Job:		Topshop Edgwick Park, Coventry		
Drawing title:		Existing Boundary Treatment		
Drawing Number: (Job number)	B6349	(SK)	011	Revision: -
Scale:		1:500 @A2		
Date:		June 2017		
Drawn by/ checked by:		JMD/WG		

KEY

- Existing Perimeter Fencing
- Existing Brick Wall
- Dilapidated Wooden Gates
- Previous Building External Wall to be retained to 2.4m high (min)



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Revision	Date	Details

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<b>Client:</b> Wigley Contracts (Barby) Ltd	
<b>Job:</b> Topshop Edgwick Park, Coventry	
<b>Drawing title:</b> Proposed Boundary Treatment	
<b>Drawing Number:</b> (Job number)	<b>B6349 (SK) 012</b>
<b>Scale:</b>	1:500 @A2
<b>Date:</b>	June 2017
<b>Drawn by/ checked by:</b> JMD/WG	

<b>Planning Committee Report</b>	
<b>Planning Ref:</b>	HH/2017/0707
<b>Site:</b>	88 and 90 Owenford Road
<b>Ward:</b>	Radford
<b>Applicant:</b>	Mrs Nagra
<b>Proposal:</b>	Two storey rear extensions and loft conversions at both 88 and 90 and two storey side extension to 90
<b>Case Officer:</b>	Nigel Smith

**SUMMARY**

The application proposes large two storey rear extensions and loft conversions at 88 and 90 Owenford Road, as well as a two storey side extension at No.90.

**KEY FACTS**

<b>Reason for report to committee:</b>	Called in by Cllr Mal Mutton as she considers the proposal to fit in with the character of the area
<b>Current use of site:</b>	Dwellings

**RECOMMENDATION**

Planning committee are recommended to refuse planning permission as the extensions would result in harm to the character of the host buildings and area by reason of their excessive scale and design

**REASON FOR DECISION**

- The proposal fails to accord with Policies BE2 or H4 of the Coventry Development Plan 2001, together with the aims of the NPPF, as the extensions would result in harm to the character of the host buildings and area by reason of their excessive scale and design.

## BACKGROUND

### **APPLICATION PROPOSAL**

The proposal comprises part two storey and part single storey extensions at the rear of 88 and 90 Owenford Road. The ground floor extension would be 6m deep across both houses with the 1<sup>st</sup> floor extension measuring 2m deep at No.88 and extending to 4m deep at No.90. There would also be a flat roof dormer at No.88 with a shallow mono pitch roof covering the 1<sup>st</sup> floor extension and tying into the proposed dormer. No.90 would have a mansard style roof to the rear which would be flat on top with sloping sides and a rear gable. No.90 would also have a two storey side extension extending to within 1m of the pavement adjacent to Capmartin Road. This extension would be flush with the front of the existing house and would include a two storey bay and a side gabled roof. The side extension would also extend to the rear to wrap around the existing property.

### **SITE DESCRIPTION**

The site comprises two terraced dwellings at the end of a row to the south of Owenford Road at its junction with Capmartin Road. The terrace is typical of such interwar development, with prominent two storey height bay windows set in a regular rhythm on the front elevations. The terrace has hipped roofs at either end. No.90 has a partial single and part two storey rear extension adjacent to No.88, as well as a single storey conservatory. No.86 (which adjoins No.88) has a brick faced single storey rear extension of approximately 3m depth.

### **PLANNING HISTORY**

There have been a number of historic planning applications on this site; the following are the most recent/relevant:

<b>Application Number</b>	<b>Description of Development</b>	<b>Decision and Date</b>
R/2002/0337	Single storey side extension to No.90. An original proposal to build to within 1m of the side boundary was reduced following a request from the Case Officer	Granted 24.7.2002
L/1999/1122	Two storey rear extension to No.90	Granted 8.11.1999

### **POLICY**

#### **National Policy Guidance**

National Planning Policy Framework (NPPF). The NPPF published in March 2012 sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF promotes sustainable development and good design is recognised as a key aspect of this.

The National Planning Practice Guidance (NPPG) 2014, this adds further context to the NPPF and it is intended that the two documents are read together.

### ***Local Policy Guidance***

The current local policy is provided within the Coventry Development Plan 2001 (CDP) relevant policy relating to this application is:

OS4 – Creating a more sustainable city  
BE2 – Principles of urban design  
H4 – Residential extensions

### ***Emerging Policy Guidance***

The Draft Local Plan 2016 to 2031 has been submitted to the Inspectorate, examination hearings and consultation on modifications has concluded and the Inspectors report is currently awaited. Whilst the policies do not hold significant weight at this time, they will gain weight as the local plan continues through the process. Policies within the draft local plan that are relevant include:

H5 – Managing existing housing stock

### ***Supplementary Planning Guidance/ Documents (SPG/ SPD):***

SPG 'Extending Your Home'

### ***CONSULTATION***

No Objections subject to conditions received from Drainage (CCC)

Ecology have recommended that a pre-determinative bat survey is undertaken as there appears to be potential access points in the roof and there are bat records nearby.

Immediate neighbours and local councillors have been notified.

No representations from neighbours were received. Cllr Mal Mutton has written in support of the application and states that she does not agree that the extension would harm the character of the area and that it is good to encourage large families to stay in older established residential areas.

Any further comments received will be reported within late representations.

### ***APPRAISAL***

The main issues in determining this application are design and impact upon neighbouring amenity.

#### ***Design***

The SPG states that extensions on corner plots should not infringe any established building lines and shall maintain a minimum of 2m between the edge of the side extension and the edge of the plot (as measured at the narrowest point). It goes on to state that two storey wrap around extensions will not normally be permitted. The section relating to roof extensions explains that a dormer window will only be acceptable on a roof slope that is not prominent when viewed from a street, public footpath or open space. The rear extension section provides that single storey extensions shall not extend more than 3.3m beyond the nearest habitable room window of a neighbouring house, or infringe a 45 degree sightline from the centre of the affected window, whichever gives the greater depth. With regard to two storey extensions it stipulates



that these must not breach the 45 degree sightline from the centre of the nearest affected window.

In this case the proposed two storey side extension would come to within 1m of the pavement adjacent to Capmartin Road as well as breaching the building line along this Road. No.92 Owenford Road (on the other side of the junction with Capmartin Road) does not have a side extension and respects the building line of Capmartin Road. This gives the junction an open feel above the 1.8m high boundary walls which protect privacy within rear gardens of these corner plots. As such, the proposal would contravene the guidance within the SPG and would result in harm to the openness of the junction and therefore the character of the area.

Furthermore, the proposed side extension would introduce a gable roof on to this end of the terrace, whereas both ends currently have hipped roofs. The terrace has a symmetrical appearance both in terms of roofline and the regular interruption of full height bay windows and paired entrance doors between. The proposal would disrupt this rhythm by introducing another full height bay stack. It is considered that the side extension would appear incongruous in the streetscene for these reasons and would cause further harm to the character of the area as a result.

Whilst it may be acceptable to add a two storey side extension to No.90, it is considered that any extension would need to be set back from the front elevation by at least 1m and be set in from the boundary with Capmartin Road by at least 2m and have a hipped roof.

Turning to the proposed rear extensions, the design and scale of the 2<sup>nd</sup> floors and roofs is of serious concern. The provision of a flat roofed dormer window and shallow sloped roof at No.88 would ordinarily be seriously incongruous and contrary to the character of the host house and wider area, given its prominent location in the Capmartin Road streetscene and lack of similar examples. However, this is dwarfed by the sheer enormity and scale of the proposed roof extension at No.90. The use of a mansard style roof on No.90 would be starkly different to any roofs in the area. The design and size of the roof would completely dominate the existing house and would be completely uncharacteristic. Suffice to say that the extensions would result in significant harm to both the character of the existing properties as well as the wider area, contrary to Policies BE2 and H4 as well as guidance within the NPPF.

### ***Impact on neighbouring amenity***

Although the extensions would be large, they would comply with the SPG in relation to the impact upon neighbouring properties. The only direct neighbour is No.86 and the proposed 1<sup>st</sup> floor extension at No.88 would not infringe a 45 degree line from the nearest bedroom window. Furthermore, the proposed 6m deep ground floor extension at No.88 would not extend more than 3.3m further than the existing single storey extension at No.86. No windows would directly face this property. Therefore the impact upon the outlook, light and privacy would not be significant. However the scale could be considered overbearing.

### ***Other considerations***

Due to the presence of potential access points for bats in the roof space and the fact that there are nearby records, ecology recommend a pre-determinative bat survey. If



one is not submitted before the committee meeting an additional reason for refusal shall be recommended.

**Conclusion**

The proposed extension shall result in significant harm to the character of both the host dwellings and the area due to their scale, mass and design, contrary to Policies BE2 and H4.

**CONDITIONS/REASON**

The proposed extensions would be contrary to Policy H4 and the Supplementary Planning Guidelines drawn up in accordance with Policy BE2 of the Coventry Development Plan 2001, as well as guidance contained within the National Planning Policy Framework, as they would result in harm to the character of both the host dwellings and the streetscene due to their scale, mass and design in a prominent location.

[Proposed Block Plan & Location Plan](#)

[Existing & Proposed Ground Floor Plans](#)

[Existing & Proposed First Floor Plans](#)

[Existing & Proposed Attic Floor Plans](#)

[Existing & Proposed Front Elevations](#)

[Existing & Proposed Rear Elevations](#)

[Existing & Proposed Side Elevations Facing No 92](#)

[Existing & Proposed Side Elevations Facing No 88](#)

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REFERENCE NUMBER:

FUL/2017/0707



SITE:

88 & 90 OWENFORD ROAD

OWENFORD ROAD



79

89

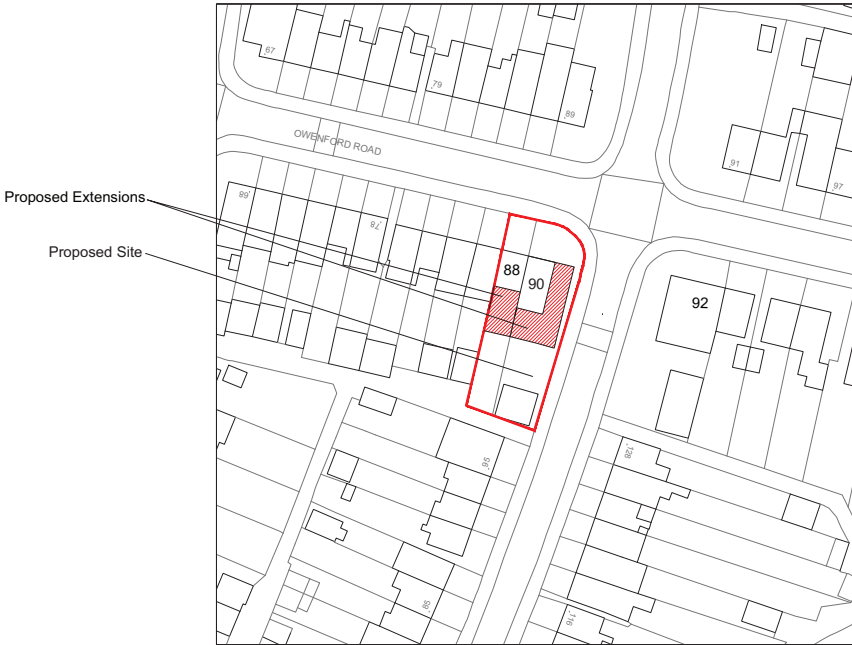
89

78

90

88 & 90

92



Proposed Block Plan  
Scale 1:500 @ A1




Location Plan  
Scale 1:1250 @ A1

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Existing Structure No 90  
Existing Structure No 92  
Proposed Site

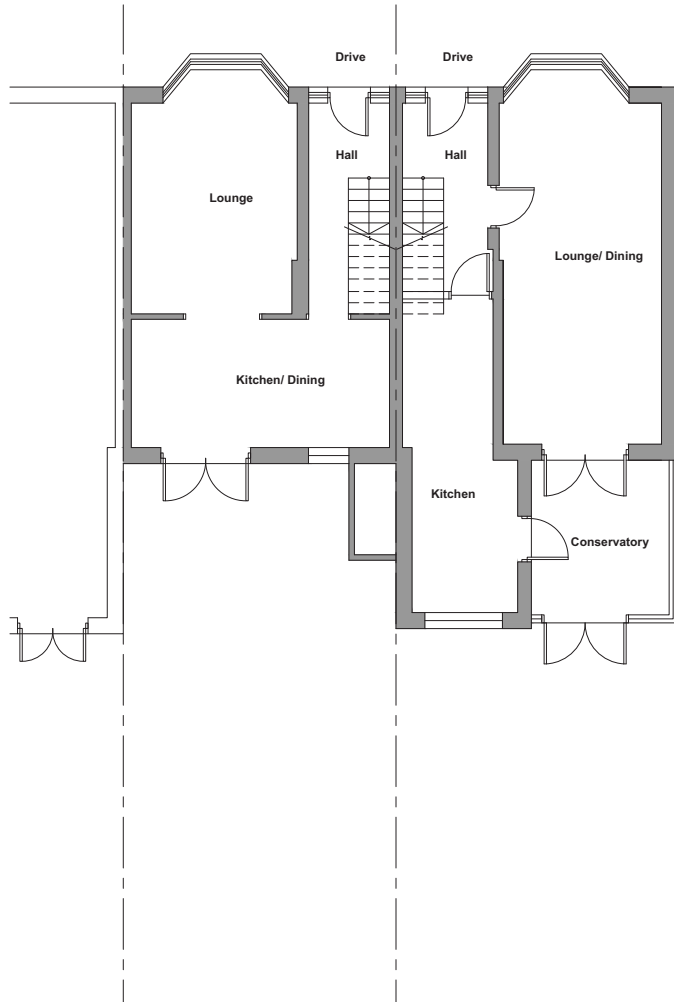
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Rev	Date	Description	By	Check
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Job title				
Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road				
Drawing title				
Proposed Block Plan and Location Plan				
Scale	Drawn by	Date	Checked by	
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Job no.	Drawing no.	Revision		
T812	AL (P) 00	<b>A</b>		

No. 86

No. 88

No. 90

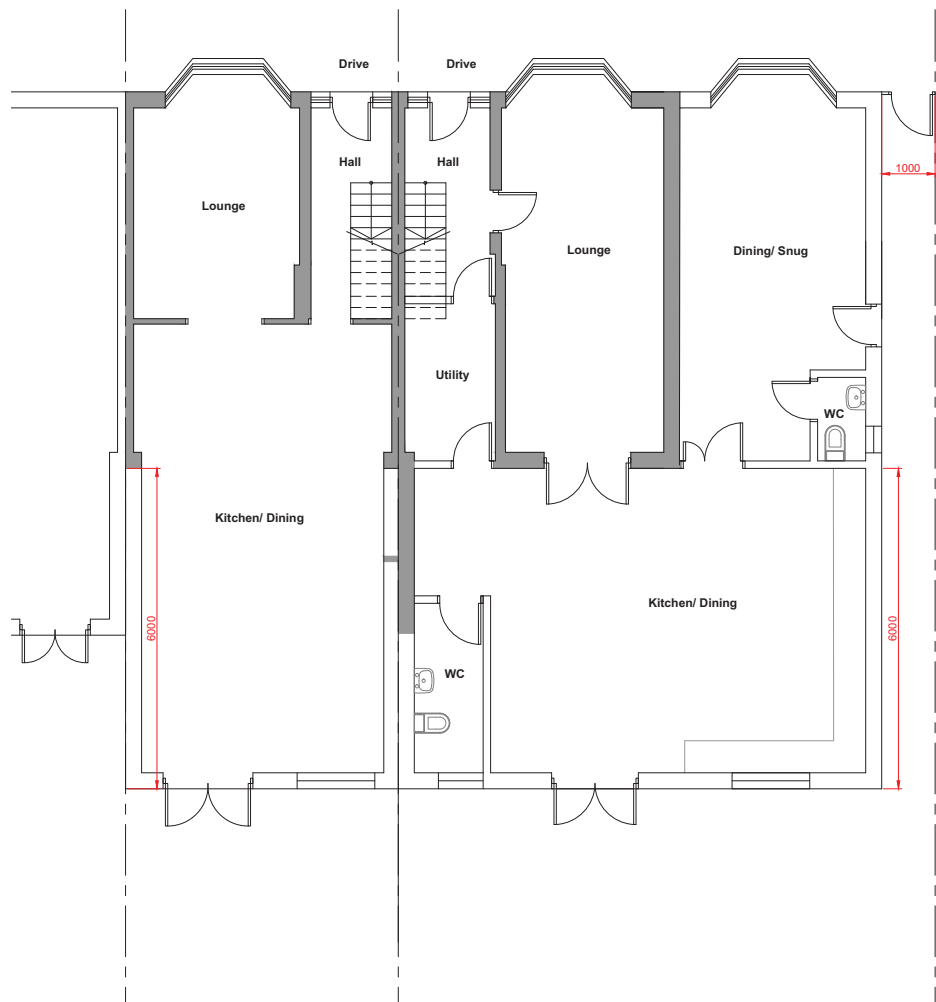


Existing Ground Floor Plan  
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No. 86

No. 88

No. 90



Proposed Ground Floor Plan  
Scale 1:50 @ A1

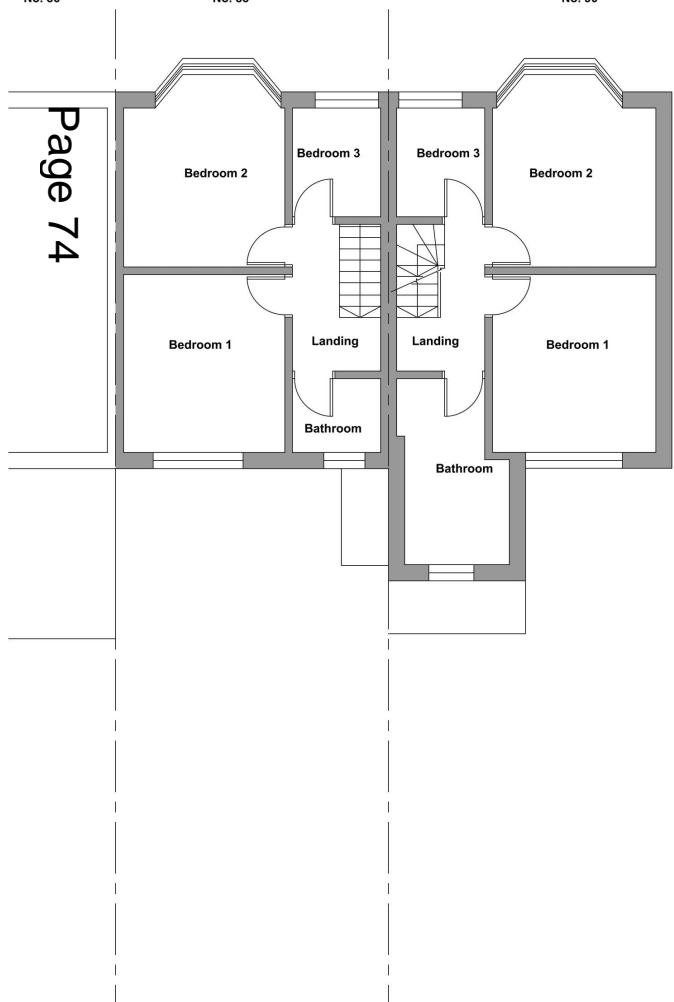
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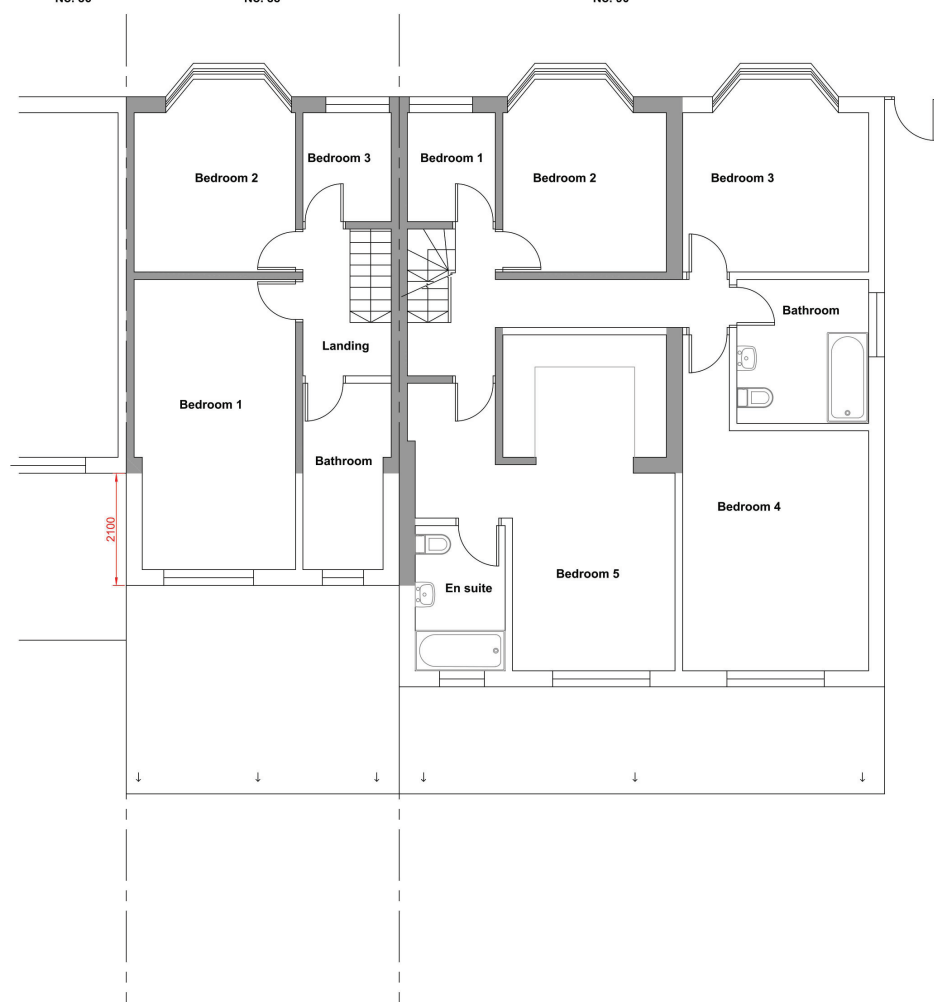
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Rev	Date	Revised following client comments	Rev	by	CDRB
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Job title					
<b>Proposed Rear and Side Extension at 90          Owenford Road and Rear Extension at 88          Owenford Road</b>					
Drawing title					
<b>Existing and Proposed Ground Floor Plan</b>					
Scale					
1:50 @ A1	Drawn by	RH	Date	February 2017	Checked by
Job no.					
T812	Drawing no.				AL (PI) 01
					<b>A</b>

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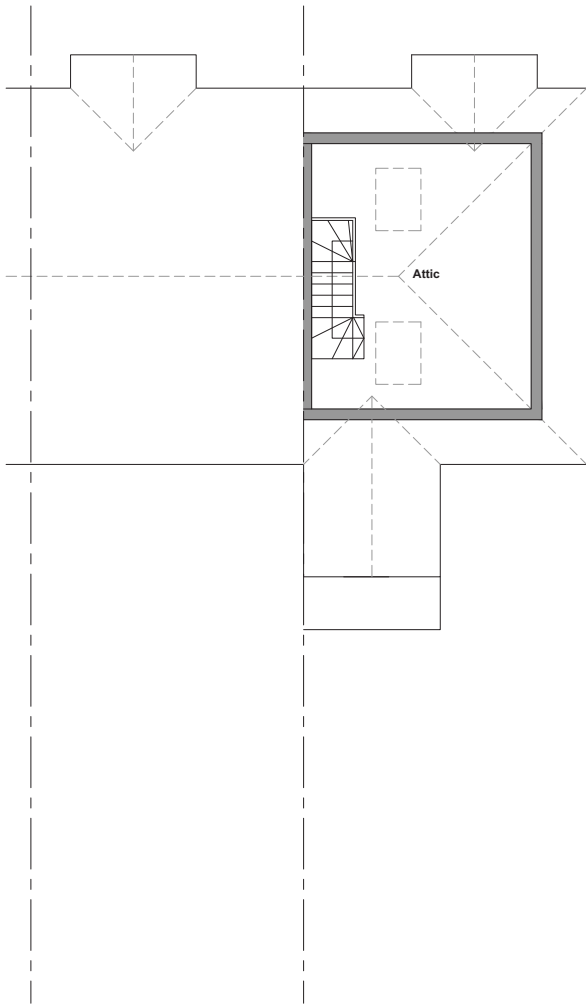


**Proposed First Floor Plan**  
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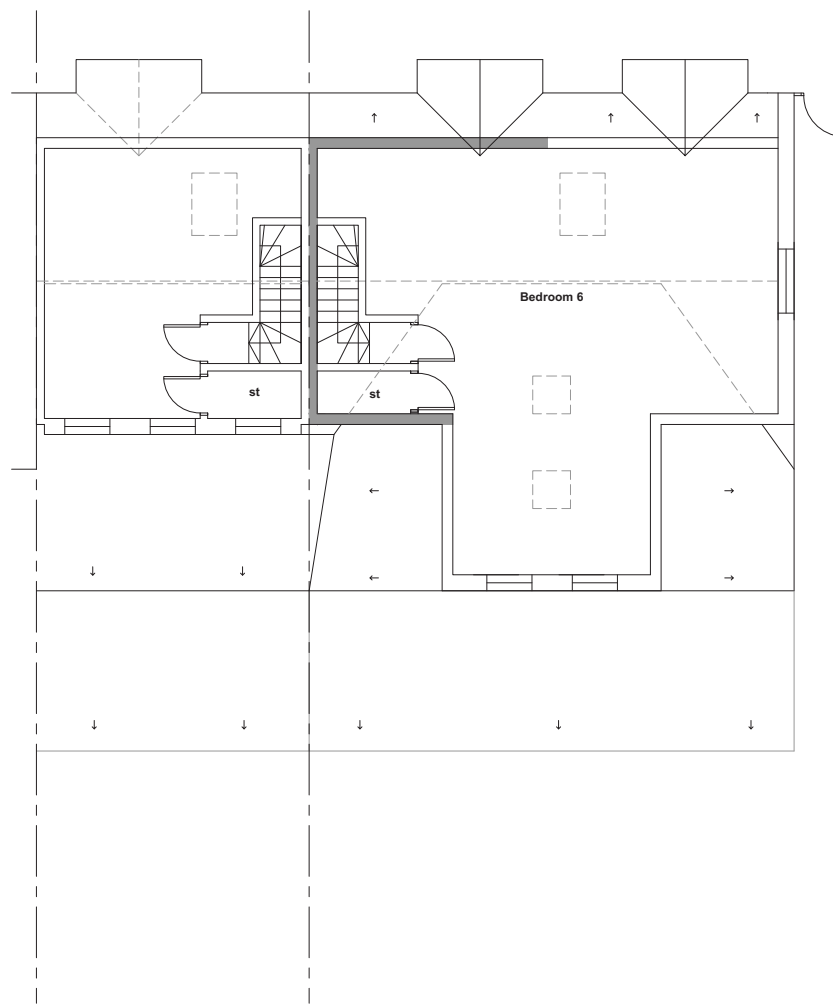
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		job title:		
Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road				
drawing title:				
Existing and Proposed First Floor Plan				
scale	drawn by	date	checked by	
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job no.	drawing no.	revision		
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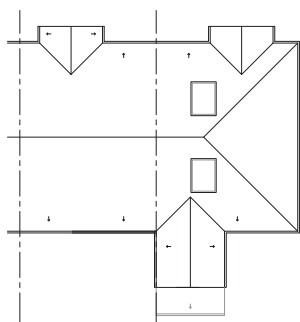


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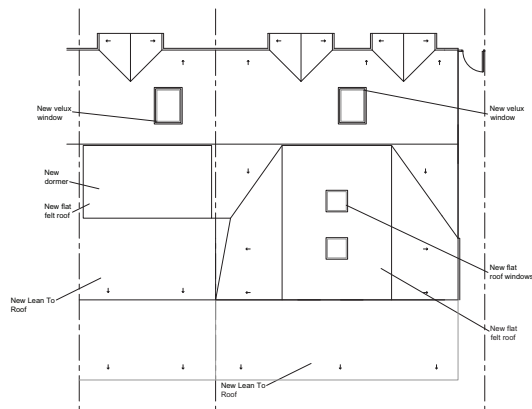


**Proposed Attic Floor Plan**  
Scale 1:50 @ A1

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**Existing Roof Plan**  
Scale 1:100 @ A1



**Proposed Roof Plan**  
Scale 1:100 @ A1

**PLANNING SUBMISSION**

B	28/03/17	Revised following planners comments	RH	CDR
A	08/02/17	Revised following client comments	RH	CDR
Rev	date		by	check



job site  
**Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road**

drawing title  
**Existing and Proposed Attic Floor Plan and Roof Plans**

scale	drawn by	date	checked by
1:50 @ A1	RH	February 2017	CDR
job no.	drawing no.	revision	
T812	AL (P) 03	B	

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**Existing Front Elevation Facing Owenford Road**  
 Scale 1:50 @ A1



**Proposed Front Elevation Facing Owenford Road**  
 Scale 1:50 @ A1

**PLANNING SUBMISSION**

Rev	Date	08/02/17	Revised following client comments	Rev	CDRB
		 <b>cdrb architects ltd</b> 8 Densley House, The Square, Redditch, CV8 1ES			
Job title					
Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road					
Drawing title					
Existing and Proposed Front Elevation Facing Owenford Road					
Scale					
Scale	Drawn by	Date	Checked by		
1:50 @ A1	RH	February 2017	CDR		
Job no.					
Drawing no.					
Revision					
T812				A	



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**Existing Rear Elevation Facing Rear Gardens**  
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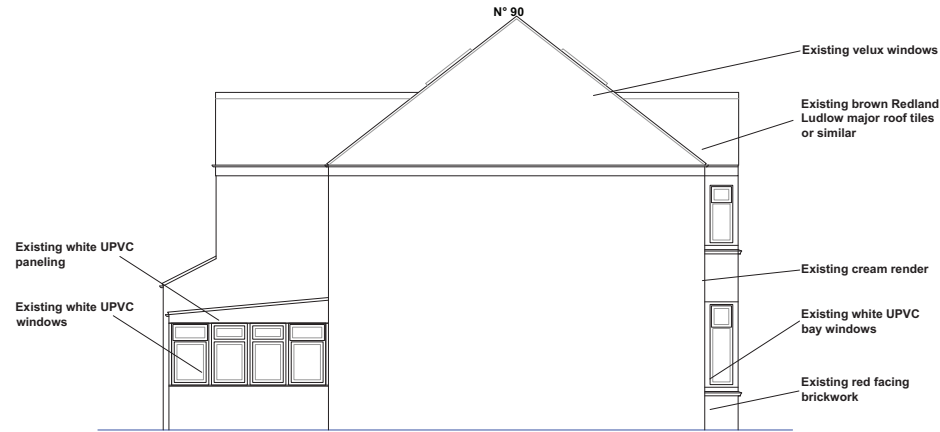


**Proposed Rear Elevation Facing Rear Gardens**  
Scale 1:50 @ A1

**PLANNING SUBMISSION**

Rev	Date	Revised following client comments	Rev	CDRB
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Job title				
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Drawing title				
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Job no.	Drawing no.		Revision	
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**Existing Side Elevation Facing N° 92**  
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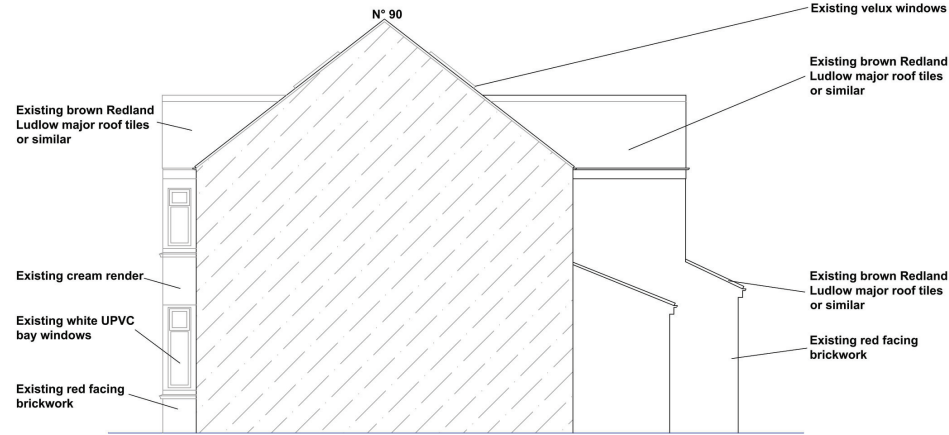


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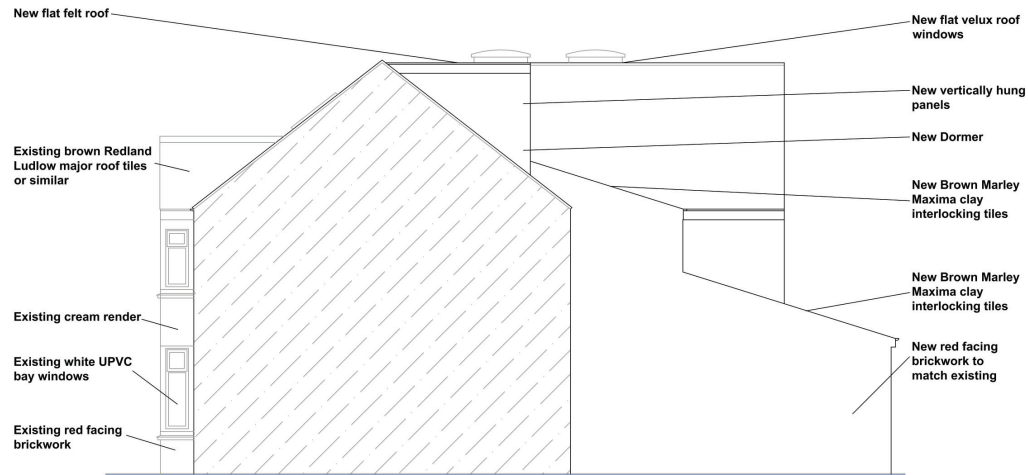
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drawn	date	by	input
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		Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road	
drawing title			
Existing and Proposed Side Elevation Facing No 92			
scale	drawn by	date	checked by
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job no.	drawing no.	revision	
T812	AL (P) 06	B	

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**Existing Side Elevation Facing N° 88**  
Scale 1:50 @ A1



**Proposed Side Elevation Facing N° 88**  
Scale 1:50 @ A1

**PLANNING SUBMISSION**

A	08/02/17	Revised following client comments	RV	CDR
Rev	date		by	checked
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job title:				
Proposed Rear and Side Extension at 90 Owenford Road and Rear Extension at 88 Owenford Road				
drawing title:				
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job no.	drawing no.	revision		
TR12	AL (P) 07	<b>A</b>		

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